



WORKING DRAWINGS - CLIENT COPY

2-4 WOODMERE AVENUE, PARADISE

CLIENT: GLEN VOLLEBREGT	L.	ISSUE:	DRAWN BY: RV	DRAWING No: 1 of 20	ISSUE A-F G H I J K	AMENDMENT PLANNING APPROVAL WORKING DRAWINGS WORKING DRAWINGS WORKING DRAWINGS WORKING DRAWINGS WORKING DRAWINGS FOR CONST	DATE 2017 29.01.18 21.02.18 04.05.18 12.06.18 20.12.18	ISSUE L	AMENDMENT WORKING DRAWINGS FOR CONST	DATE 22.10.19	THESE DRAWINGS ARE COPYRIGHT AND REMAIN THE PROPERTY OF 365 STUDIO, REPRODUCTION OF ANY PART OF THESE DRAWINGS IS STRICTLY PROHIBITED WITHOUT W R I T T E N C O N S E N T C O P Y R I G H T ©
PROJECT: PROPOSED DEVELOPMENT											
		JOB NUMBER: 014-08-17/WD01									

GENERAL NOTES:

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BUILDER/CONSTRUCTOR IS RESPONSIBLE TO CHECK AND CONFIRM AL DRAWINGS AND DETAILS PRIOR TO ORDERING ANY MATERIALS AND OR QUOTING OF PROJECT AND OR COMMENCEMENT OF ANY CONSTRCTUION. 365 STUDIO DO NOT ACCEPT ANY RESPONSIBILITY FOR ERRORS AND OR OMISSIONS.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS PRIOR TO ANY WORK ON SITE IS CONDUCTED

DO NOT SCALE OFF THE PLANS. FIGURED DIMENSIONS TO TAKE PRECEDENCE OVER SCALED DRAWINGS

TERMITE TREATMENT NOTE:

TERMITE PROTECTION SHALL COMPLY WITH AS3660.1-2014, PROVIDE CERTIFICATE IN ACCORDANCE WITH AS3660.1-2014 STATING METHOD OF APPLICATION AND CERTIFICATE OF COMPLETION.

EXTENSION/ADDITION:
BUILDER TO PROVIDE DETAILS ON CURRENT TERMITE PROTECTION OF EXISTING DWELLING. IF NO TERMITE PROTECTION IS RECORDED THEN BUILDER TO ARRANGE INSPECTION/TREATMENT PRIOR AND DURING CONSTRUCTION.

BOUNDARY/SURVEY/SETOUT:

ARCHITECTURALS BY 365 STUDIO IS INDICATIVE FOR BUILDING SETOUT PURPOSE ONLY. PRIOR TO ANY CONSTRUCTION REFER TO SURVEYOR DRAWINGS AND ENGINEERING CIVIL PLAN FOR SITE LEVELS, CONTOURS, BENCH MARKS, SERVICE LOCATIONS. BUILDER TO ORGANISE A CERTIFIED SURVEY PRIOR TO ANY CONSTRUCTION IS COMMENCED. BUILDER TO CHECK AND CONFIRM ALL SITE AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. PLANS TO BE READ IN CONJUNCTION WITH THE ENGINEERS AND SURVEYORSDRAWINGS/DETAILS. BUILDER TO CONFIRM ENGINEER DRAWINGS ARE UPDATED

RAINWATER NOTE:

1000LTS (MIN) RWT COLLECTING 50m² ROOF CATCHMENT AREA, PLUMBED TO EITHER TOILET, HOT WATER SYSTEM OR ALL LAUNDRY COLD WATER OUTLETS, RWT MUST BE FITTED WITH OVERFLOW DEVICE. INLET & OVERFLOW MUST BE FITTED WITH MOSQUITI-PROOF SCREENS. MUST COMPLY WITH BCA REQUIREMENTS

BRUSH FENCE NOTE:

THERE WILL NOT BE ANY BRUSH FENCES WITHIN 3M OF THE PROPOSED BUILDING WORKS. ANY BRUSH FENCES THAT ARE WITHIN 3M OF THE PROPOSED WORKS/DWELLING ARE TO BE REMOVED BY THE OWNER & REPLACED WITH A NON-COMBUSTIBLE MATERIAL THAT MUST COMPLY WITH BCA REQUIREMENTS

REFER TO ENGINEERS CIVIL PLAN FOR ALL LEVELS, RETAINING WALLS AND STORMWATER DRAINAGE PLAN

STORM-WATER NOTE:

WET AREA NOTE:

WET AREA CONSTRUCTION, WATERPROOFING AND TILING SHALL COMPLY WITH MINISTERS SPECIFICATION, AS3740, ART 3.8.1 AND SA 3 OF VOL. 2

ENERGY SPECIFICATION:

REFER TO INDEPENDENT ENERGY EFFICIENCY REPORT FOR ALL INSULATION AND GLAZING REQUIREMENTS

EXHAUST FANS SERVING A CONITIONED SPACE OR A HABITABLE ROOM BE FITTED WITH SELF CLOSING DEVICE SUCH AS SELF CLOSING DAMPER.

REMOVABLE HINGE NOTE:

WC DOOR HAVING DEMOUNTABLE HINGES AND BEINGS REMOVABLE FROM OUTSIDE THE WC. TO BE COMPLIANT WITH BCA - PART 2.43 & 3.8.3

HOT WATER SERVICE:

RINNAI B26 HOT WATER SYSTEMS TO BE INSTALLED OR HAVE AN EFFICIENCY RATING ENERGY RATING LABEL OF AT LEAST 5 STARS COMPLYING WITH AS4552 AND BCA P2.6.2 (b) - ALSO REFER ENERGY EFFICIENCY REPORT FOR FURTHER DETAILS/REQUIREMENTS. LOCATION TO BE CONFIRMED ON SITE IF NOT NOTED ON THE SITE PLAN.

TIMBER FRAMING:

ALL TIMBER FRAMING SHALL BE IN ACCORDANCE WITH AS 1684.2-2010 (RESIDENTIAL TIMBER FRAMED CONSTRUCTION).

ALL EXPOSED TIMBER MEMBERS AND FIXINGS ARE TO BE ADEQUATELY TREATED WITH PRESERVATIVE IN ACCORDANCE WITH AS 1604

ROOF NOTE:

ROOF CONTRACTOR SHALL PROVIDE ALL NECESSARY FLASHINGS, CAPPINGS AND OTHER ITEMS REQUIRED TO MAKE THE ROOF WATERTIGHT AND COMPLETE.

ALL SANITARY, PLUMBING, DRAINAGE & ELECTRICAL WORK TO BE CARRIED OUT BY FULLY QUALIFIED AND LICENSED TRADESPERSONS.

ELECTRICAL NOTE:

ALL ELECTRICAL WORK CARRIED OUT, TO BE IN ACCORDANCE WITH AS 3000.

WINDOW AND DOOR NOTE:

ALL GLAZING TO COMPLY WITH AS 1288-2006
ALL GLAZING IS TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS 1288.1

ALL CARE HAS BEEN TAKEN, HOWEVER IT IS THE BUILDERS RESPONSIBILITY TO CHECK AND VERIFY ALL WINDOWS AND DOORS DIMENSIONS PRIOR TO CONSTRUCTION AND ORDERS AS NO RESPONSIBILITY CAN BE ACCEPTED FOR ANY ERRORS OR OMISSIONS.

FIRST FLOOR OPENING - ALL BEDROOM WINDOWS OPENINGS BELOW 1700mm AFL TO FIRST FLOOR TO BE RESTRICTED AND HAVE A MAXIMUM OPENING OF NO MORE THAN 125MM.

A/C UNIT & PLUMBING STACK NOTE:

BUILDER TO CONFIRM LOCATIONS OF ALL A/C DUCT VOIDS AND PLUMBING STACKS PRIOR TO ANY CONSTRUCTION COMMENCING.

BUILDING METHODS:

LOWER: HEBEL POWER PANEL
UPPER: TIMBER FRAME WITH MATRIX & CEMINTAL WOODGRAIN CLADDING
MID-FLOOR: STUCTAFLOOR
FEATURE MATERIALS:
PARTY-WALL: SHAFTLINE

BRICK VENEER:
110mm THICK EXPOSED BRICK WORK, 40mm CAVITY AND 90mm TIMBER STUD WALL. REFER TO ELEVATIONS IF RENDER IS REQUIRED.

HEBEL POWER PANEL VENEER:
75mm THICK HEBEL POWER PANEL, 25mm CAVITY AND 90mm TIMBER STUD, WITH EXTERNAL RENDER FINISH.

PARTY-WALL:
REFER TO DETAIL FOR CONSTRUCTION METHOD

FOR FEATURE MATERIALS REFER TO MANUFACTURERS SPECIFICATION IF NOT STATED ABOVE.

ALL INTERNAL WALLS TO BE LINED WITH 10mm PLASTERBOARD WALL LINING. VILLABOARDS TO ALL WET AREAS

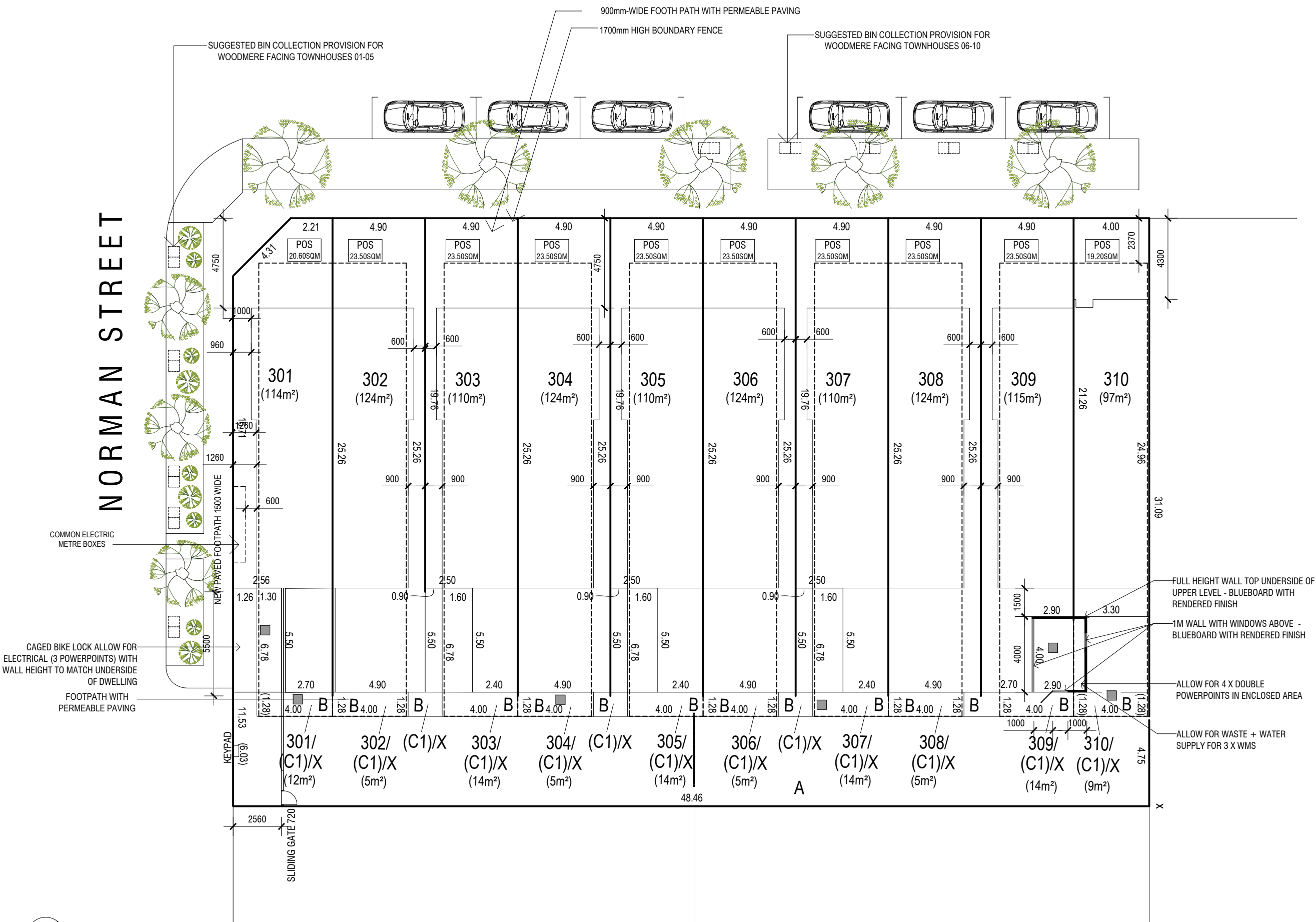
ALL INTERNAL DOORS TO BE 2400mm HIGH

IF A SCHEDULE OF MATERIALS IS PROVIDED/PREPARED ENSURE THAT THIS TAKES PRECEDENCE OVER DRAWINGS

HOT WATER SYSTEM (HWS):

PROVISION FOR A SECONDARY HWS TO SERVICE GROUND/LOWER LEVEL.

WOODMERE AVE



COMMUNAL LIGHTS TO UNDERSIDE OF BUILDING

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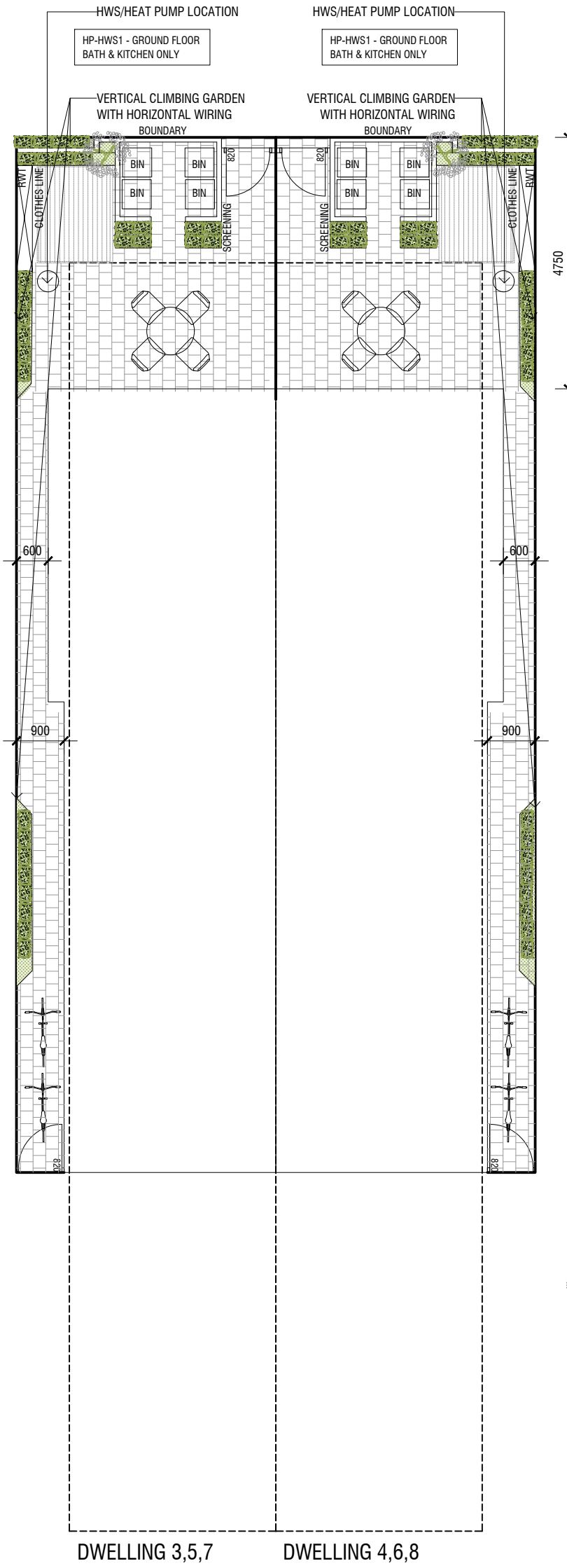
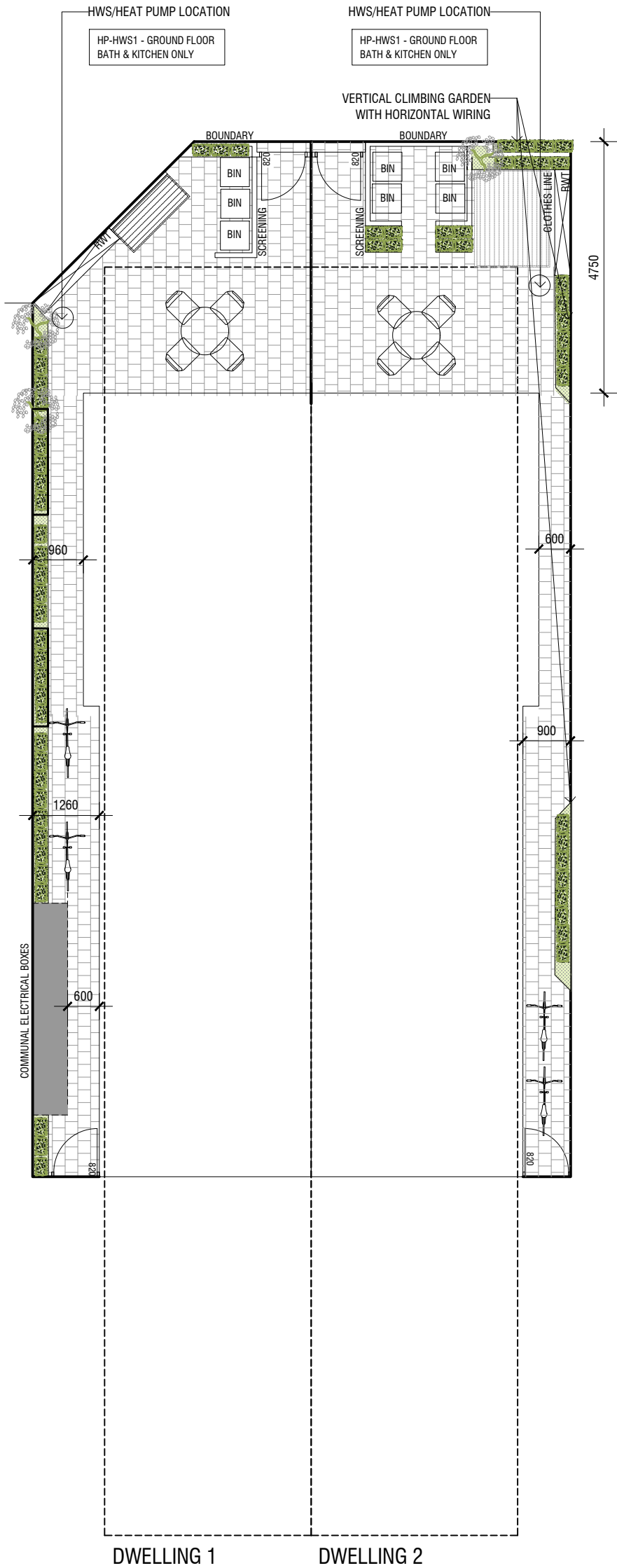
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PROPOSED SITE PLAN

SCALE 1:200



BOUNDARY/SURVEY/SETOUT:

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RWT MUST BE FITTED WITH OVERFLOW
DEVICE. INLET & OVERFLOW MUST BE
FITTED WITH MOSQUITI-PROOF SCREENS.
MUST COMPLY WITH BCA REQUIREMENTS

HOT WATER SYSTEM (HWS):

PROVISION FOR A SECONDARY HWS TO
SERVICE GROUND/LOWER LEVEL.

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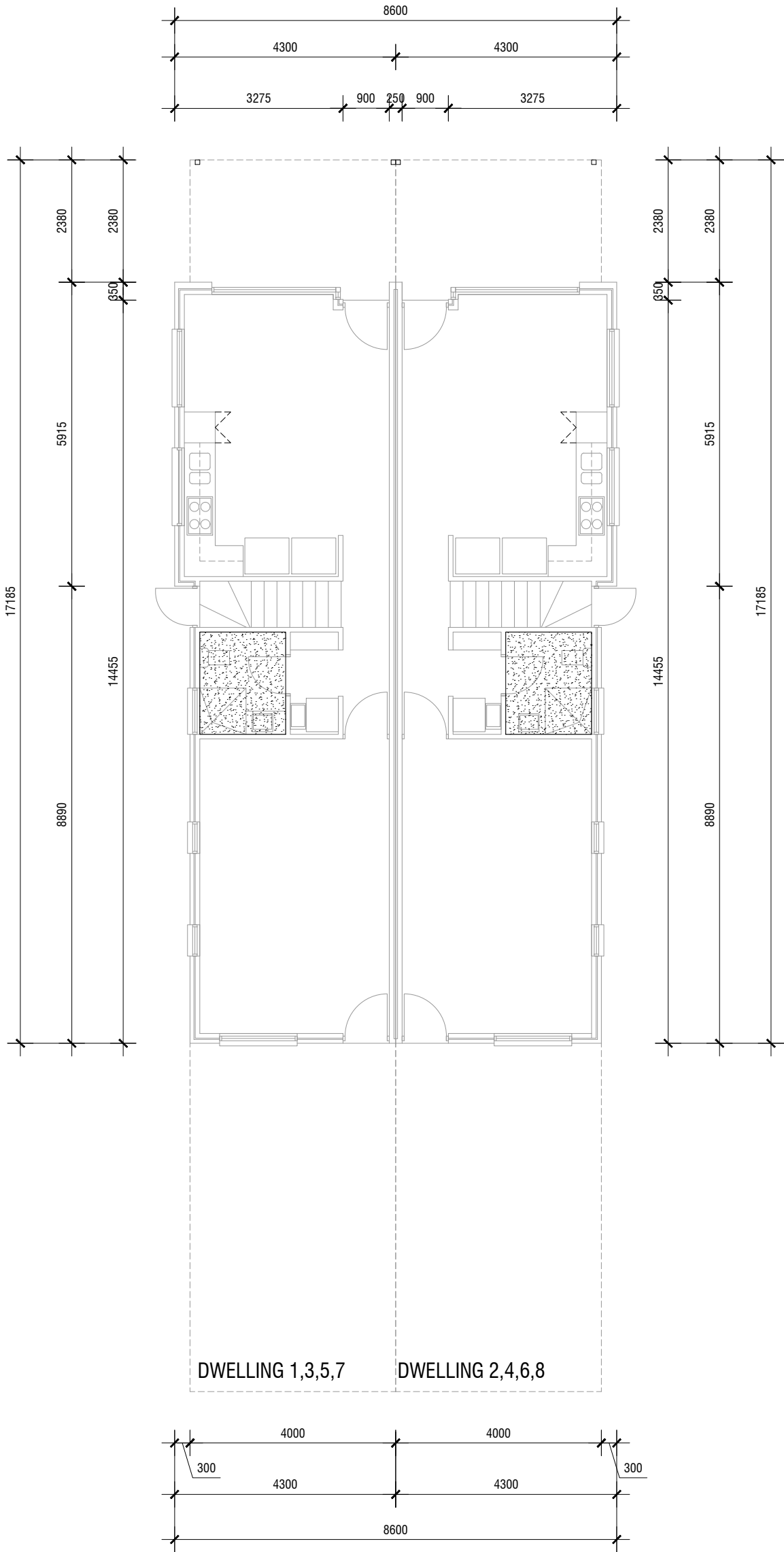
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FOOTING & SLAB NOTES:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

THE CONTRACTOR SHALL VERIFY AL
DIMENSION AND LEVELS ON SITE PRIOR
TO THE COMMENCEMENT OF ANY WORK
OR SHOP DRAWINGS

THE CONTRACTOR SHALL NOT MAKE
ALTERNATION OR CHANGES TO PLANS
DURING OR PRIOR TO CONSTRUCTION
WITHOUT WRITTEN NOTICE

CONCRETE FOOTINGS AND SLAB SHOULD
BE READ IN CONJUNCTION WITH/ & IN
ACCORDANCE WITH THE ENGINEER'S
REPORT.

ALL CONCRETE SHALL BE HANDLED,
PLACED AND COMPACTED IN
ACCORDANCE WITH THE REQUIREMENTS
OF AS 3600-2001.

ALL REINFORCING SHALL COMPLY WITH
AS 3600 PART 1 - 2000.

TERMITE PROTECTION SHALL COMPLY
WITH AS 3600 PART 1 - 2014.

SLAB EDGE REBATE DEPTH 50MM, WIDTH
110MM

SETDOWN NOTES:

50mm SET DOWNS TO THE GARAGE,
PORCH AND WET AREAS. ALL FLOOR
LEVEL INDICATED ARE TO BE CONFIRM BY
THE BUILDER. REFER TO ENGINEERING
DOCUMENTATION FOR DETAILS.

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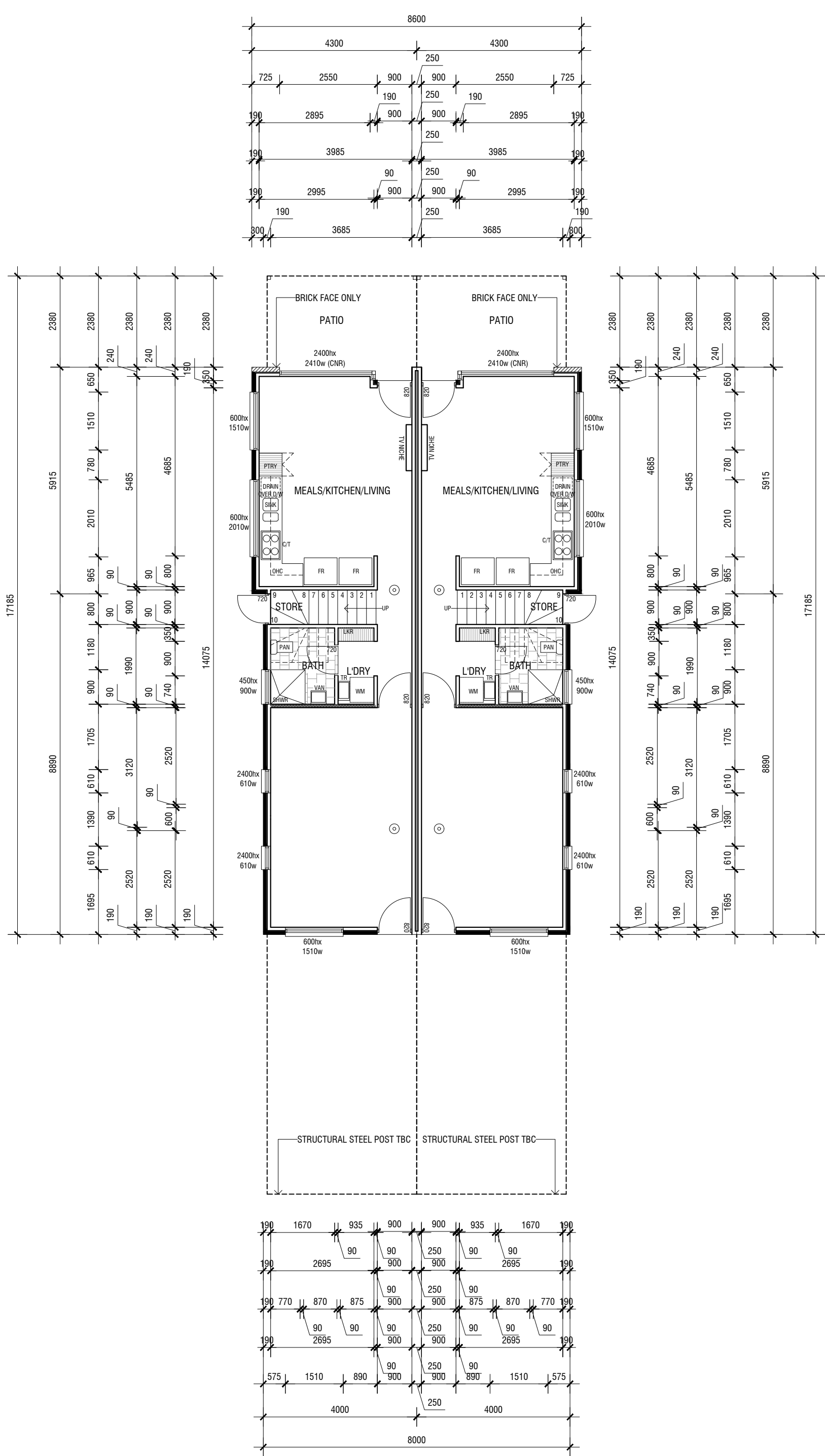
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DWELLING 1 - 9 AREA	SQM
LOWER LIVING	60.70
UPPER LIVING	94.70
GARAGE	-
PORCH	-
TERRACE	26.00
TOTAL	181.40
DWELLING 10 AREA	SQM
LOWER LIVING	60.90
UPPER LIVING	94.70
GARAGE	-
PORCH	-
TERRACE	26.00
TOTAL	181.60

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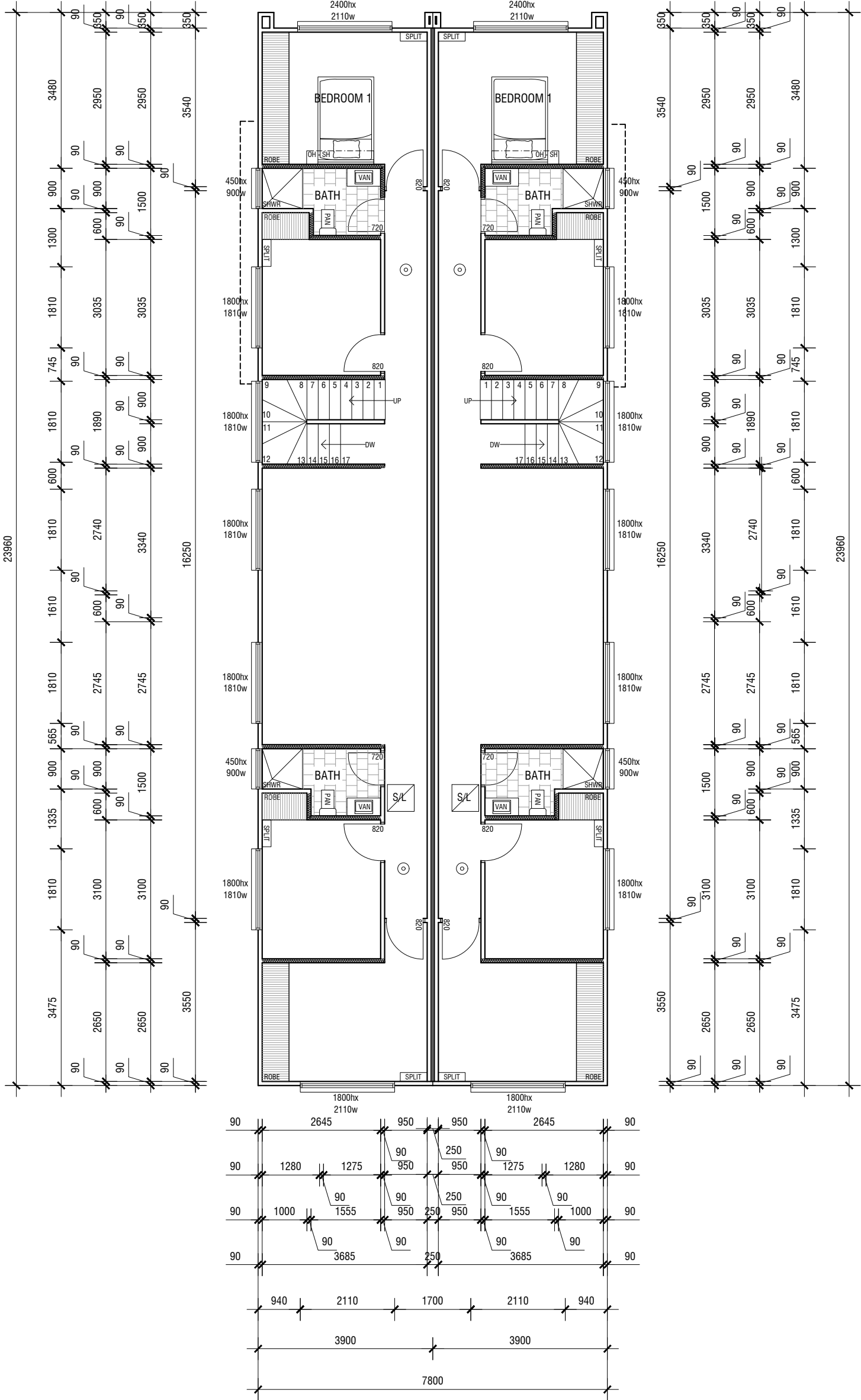
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FLOOR PLAN NOTES:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

- HARDWIRED SMOKE DETECTOR WITH
BATTERY BACK-UP INSTALLED AND
INTERCONNECTED IN ACCORDANCE WITH
AS 3786-1993
- EXHAUST FAN DUCTED TO ATMOSPHERE
OR VENTILATED ROOF SPACE INSTALLED
ACCORDANCE WITH AS 1668.2
- WC DOOR HAVING
DEMOUNTABLE HINGES AND BEINGS
REMOVABLE FROM OUTSIDE THE WC

- 190mm HEBEL PANEL VENEER SYSTEM
- 90MM STUD WALLS - EXTERNAL WALLS
TO HAVE CEMENTAL DIRECT FIX
- REMOVABLE NON-LOAD BEARING WALLS

FLOOR PLAN LEGEND:

- BIS - BUILT IN SOFA (BY OWNER)
- PTRY - PANTRY
- SINK - S/STEEL SINK
- C/T - 750W COOKTOP
- OHC - 300MM DEEP OVERHEAD CUPBOARD
- FR - REFRIGERATOR
- PAN - TOILET PAN
- VAN - VANITY
- WM - WASHING MACHINE
- SHWR - SHOWER
- LKR - LOCKERS
- ROBE - BUILT IN ROBE
- DESK-MKE 1 - MICKE 730X500 WITH ONE SLIDE
- DESK-MKE 2 - MICKE 1050X500 WITH SIDE
CUPBOARD
- KX - KALLAX 2 UNITS (770W) 2 OR 4 HIGH
- OH-SH - 1500X300 OVERHEAD SHELF
- DOORS:
INTERNAL DOORS 2340H
TOWELL RAILS TO BE INSTALLED BEHIND BEDROOM
DOORS
- BEDROOM NOTE:
ALL BEDS TO BE 1.95X1.25M
300H DEEP 1600 ABOVE ALL DESK SPACES AND
ABOVE ALL BEDS.
WOOD PANEL PROTECTOR ABOVE EACH BED.
- BATHROOM NOTE:
ENGAGED SIGNS TO ALL BATHROOMS

DWELLING 1 - 9 AREA	SQM
LOWER LIVING	60.70
UPPER LIVING	94.70
GARAGE	-
PORCH	-
TERRACE	26.00
TOTAL	181.40
DWELLING 10 AREA	SQM
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TOTAL	181.60

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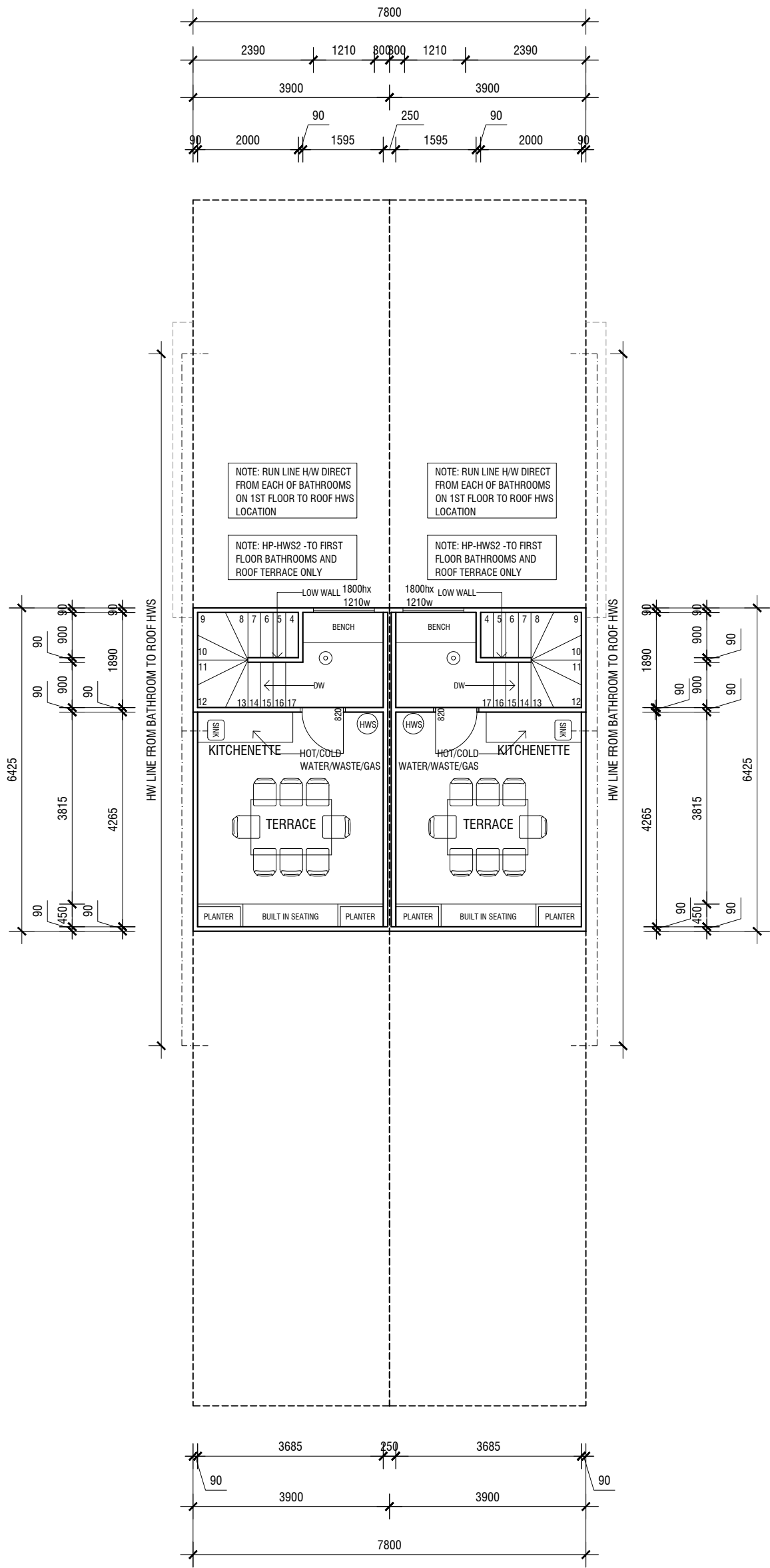
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FIRST TERRACE PLAN RES 1-8 SCALE 1:100



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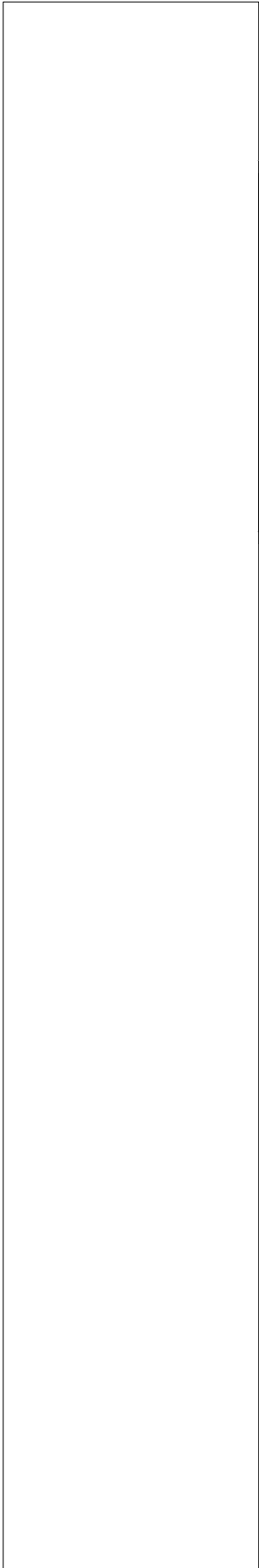
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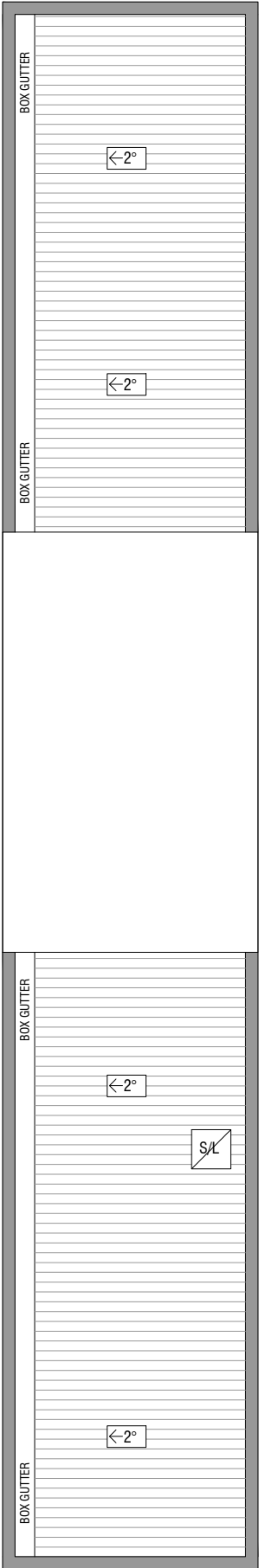
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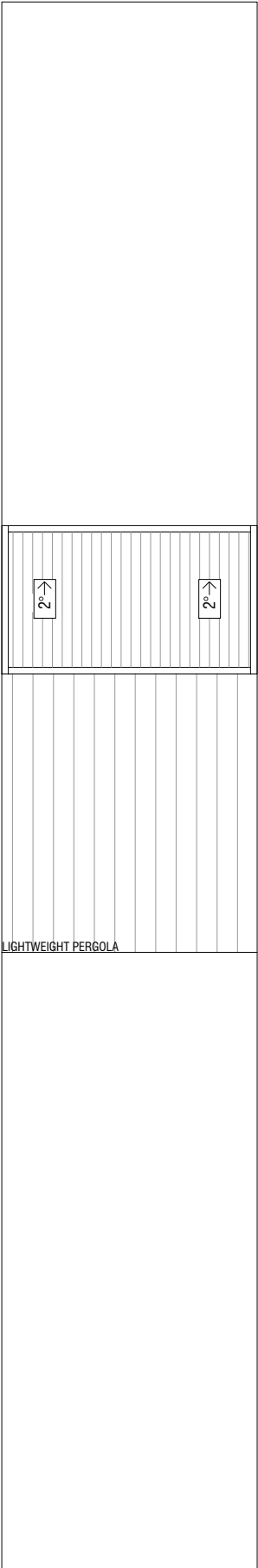
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GROUND ROOF



FIRST LEVEL ROOF



TERRACE ROOF

ROOF PLAN NOTES:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

COLORBOND FLAT ROOF (REVOLUTION
ROOFING 'TRUE OAK' OPR SIMILAR @ 2°
PITCH WITH PARAPET WALLS. REFER TO
ENGINEERING FOR FRAMING, BRACING &
STORMWATER LAYOUTS.

THE ROOF STORM WATER BOX GUTTER
MUST BE AT LEAST 300MM WIDE AND
FITTED WITH A RAINWATER HEAD (SUMP)
AND OVERFLOW SPOUT AT THE LOWEST
POINTS.

METAL FASCIA TO BE INSTALLED WHERE
EAVES ENCROACH WITHIN 450mm OF
BOUNDARY.



SKYLIGHT OVER



900 PVC DOWNPIPES AS PER ENGINEERS
STORMWATER PLAN.



900 PVC SPLITTER DOWNPIPE AS PER
ENGINEERS STORMWATER PLAN.



SELECTED RAIN-HEAD

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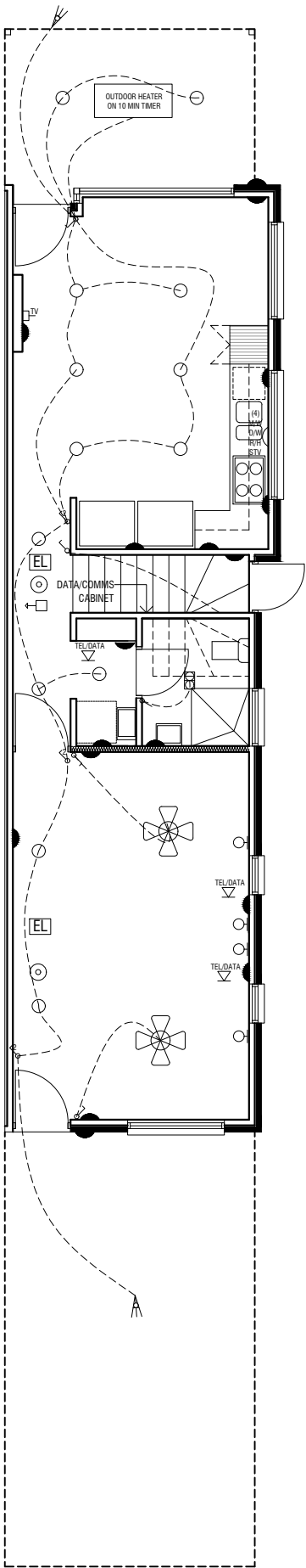
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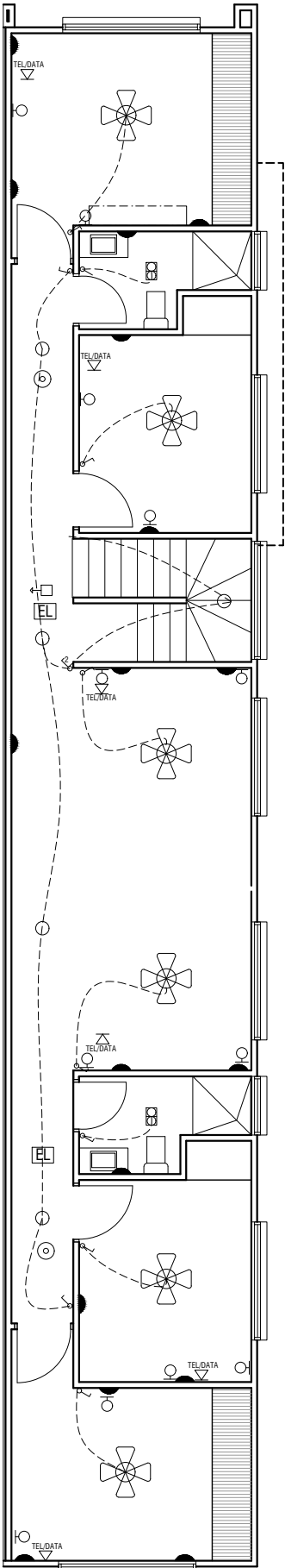
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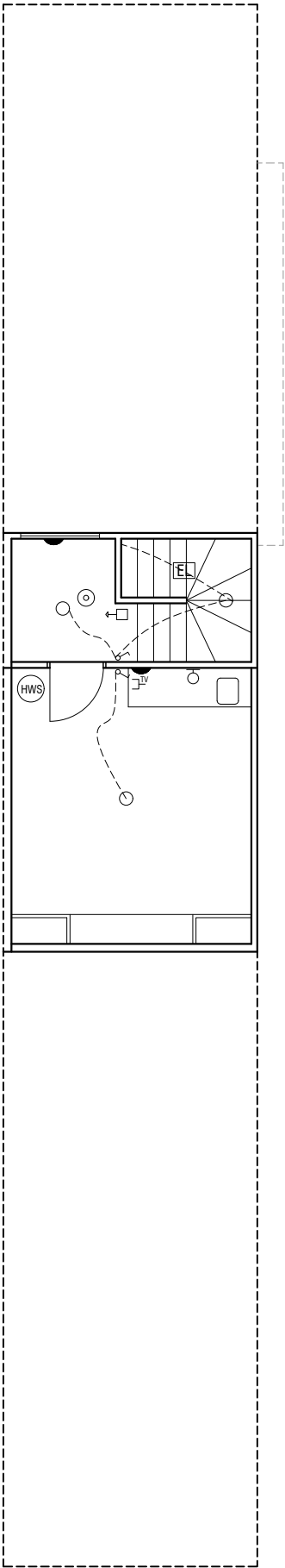
GROUND LEVEL

DWELLING 9 & 10
ALLOW FOR 4 X DOUBLE POWERPOINTS
IN ENCLOSED AREA ON GROUND LEVEL -
REFER SITE PLAN



FIRST LEVEL

BATHROOM NOTE:
ALLOW FOR ALL FAN/LIGHTS TO HAVE
ONE SWITCH WHICH OPERATES BOTH THE
FAN AND LIGHT. AND ALL HEAT LAMPS TO
HAVE A 90 SEC TIMING SWITCH



TERRACE LEVEL

ELECTRICAL LEGEND		
REFER TO FINISHES SCHEDULE (IF APPLICABLE)		LOCATION
	ELECTRICAL METER BOX	WALL MOUNTED
	GAS METER BOX	WALL MOUNTED
	SINGLE GPO OUTLET	200mm ABOVE FFL
	DOUBLE GPO OUTLET	200mm ABOVE FFL
	WEATHERPROOF SINGLE SWITCH GPO OUT	200mm ABOVE FFL
	WEATHERPROOF DOUBLE SWITCH GPO OUT	200mm ABOVE FFL
	SINGLE GPO OUTLET FOR FRIDGE	1100mm ABOVE FFL
	SINGLE GPO OUTLET FOR DISHWASHER	ADJACENT EQUIP.
	SINGLE GPO OUTLET FOR RANGEHOOD	1800mm ABOVE FFL
	SINGLE GPO OUTLET FOR LAUNDRY	1100mm ABOVE FFL
	HOT WATER UNIT	SURFACE MOUNTED
	AIR CONDITIONING CONDENSING UNIT	FLOOR MOUNTED
	TELEPHONE OUTLET	ADJACENT EQUIP.
	TELEVISION ARIEL OUTLET	200mm ABOVE FFL
	SECURITY KEYPAD PANEL	1500mm ABOVE FFL
	SECURITY CONTROL PANEL	WALL MOUNTED
	360° SENSOR WITH 20M RANGE + LED LIGHT ADJACENT	SURFACE MOUNTED
	ONE-WAY LIGHT SWITCH	1100mm ABOVE FFL
	TWO-WAY LIGHT SWITCH	1100mm ABOVE FFL
	CIRCUIT/SWITCH LINE	WHERE REQUIRED
	BATTEN FIX LIGHT	SURFACE MOUNTED
	LED DOWNLIGHT	CEILING RECESSED
	WALL MOUNTED LAMP	1800mm ABOVE FFL
	SMOKE DETECTOR	CEILING MOUNTED
	EXHAUST FAN WITH LIGHT	CEILING RECESSED
	FAN/HEAT/LIGHT UNIT WITH 60 SEC TIMER	CEILING RECESSED
	FLUORESCENT LIGHT	CEILING MOUNTED
	BUILT IN SPEAKERS	CEILING MOUNTED
	PENDANT LIGHTING	CEILING MOUNTED
	LIGHT SENSOR	CEILING MOUNTED
	TELECOM	1500mm ABOVE FFL
	CEILING FAN WITH LIGHT	CEILING MOUNTED
	SINGLE PHASE ISO. FOR HOT WATER UNIT	ADJACENT EQUIP.
	EMERGENCY EXIT LIGHT	ADJACENT EQUIP.

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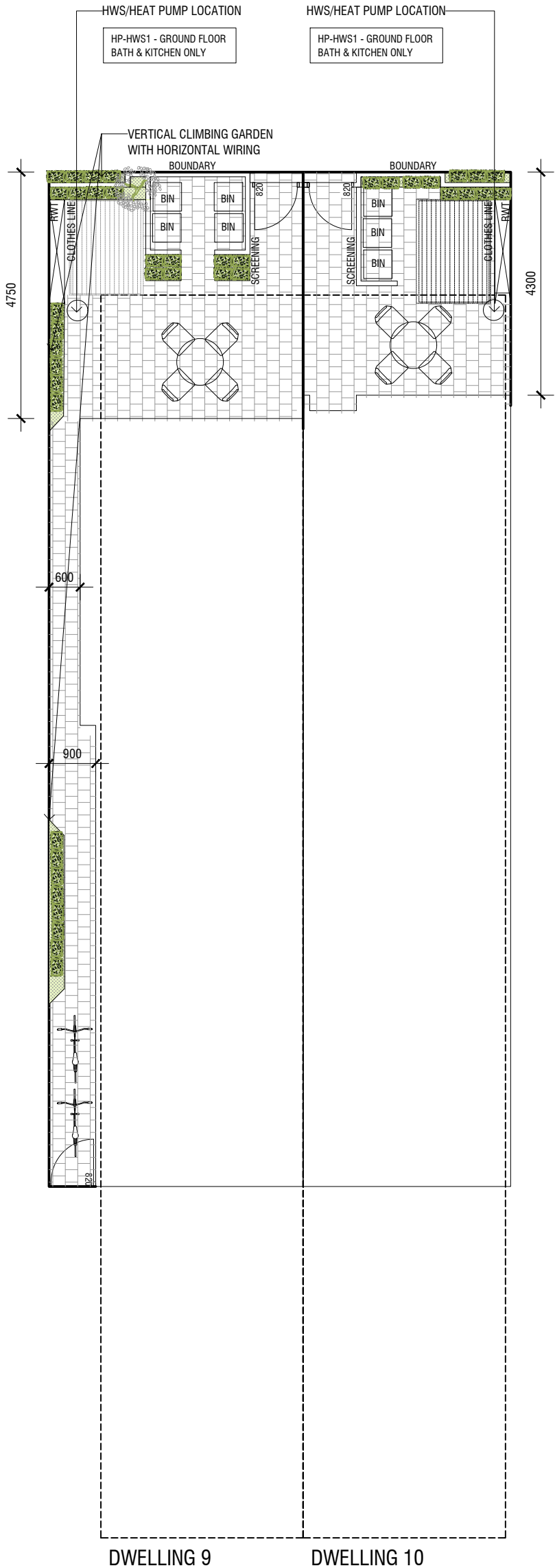
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BOUNDARY/SURVEY/SETOUT:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

ARCHITECTURALS BY 365 STUDIO IS
INDICATIVE FOR BUILDING SETOUT
PURPOSE ONLY. PRIOR TO ANY
CONSTRUCTION REFER TO SURVEYOR
DRAWINGS AND ENGINEERING CIVIL PLAN
FOR SITE LEVELS, CONTOURS, BENCH
MARKS, SERVICE LOCATIONS. BUILDER
TO ORGANISE A CERTIFIED SURVEY PRIOR
TO ANY CONSTRUCTION IS COMMENCED.
BUILDER TO CHECK AND CONFIRM ALL
SITE AND SET OUT DIMENSIONS PRIOR TO
COMMENCEMENT OF CONSTRUCTION.
PLANS TO BE READ IN CONJUNCTION
WITH THE ENGINEERS AND
SURVEYORS DRAWINGS/DETAILS. BUILDER
TO CONFIRM ENGINEER DRAWINGS ARE
UPDATED

BRUSH FENCE NOTE:

THERE WILL NOT BE ANY BRUSH FENCES
WITHIN 3M OF THE PROPOSED BUILDING
WORKS. ANY BRUSH FENCES THAT ARE
WITHIN 3M OF THE PROPOSED
WORKS/DWELLING ARE TO BE REMOVED
BY THE OWNER & REPLACED WITH A
NON-COMBUSTIBLE MATERIAL THAT
MUST COMPLY WITH BCA REQUIREMENTS

STORM-WATER NOTE:

REFER TO ENGINEERS CIVIL PLAN FOR ALL
LEVELS, RETAINING WALLS AND
STORMWATER DRAINAGE PLAN

RAINWATER NOTE:

1000LTS (MIN) RWT COLLECTING 50m²
ROOF CATCHMENT AREA, PLUMBED TO
EITHER TOILET, HOT WATER SYSTEM OR
ALL LAUNDRY COLD WATER OUTLETS,
RWT MUST BE FITTED WITH OVERFLOW
DEVICE. INLET & OVERFLOW MUST BE
FITTED WITH MOSQUITI-PROOF SCREENS.
MUST COMPLY WITH BCA REQUIREMENTS

HOT WATER SYSTEM (HWS):

PROVISION FOR A SECONDARY HWS TO
SERVICE GROUND/LOWER LEVEL.

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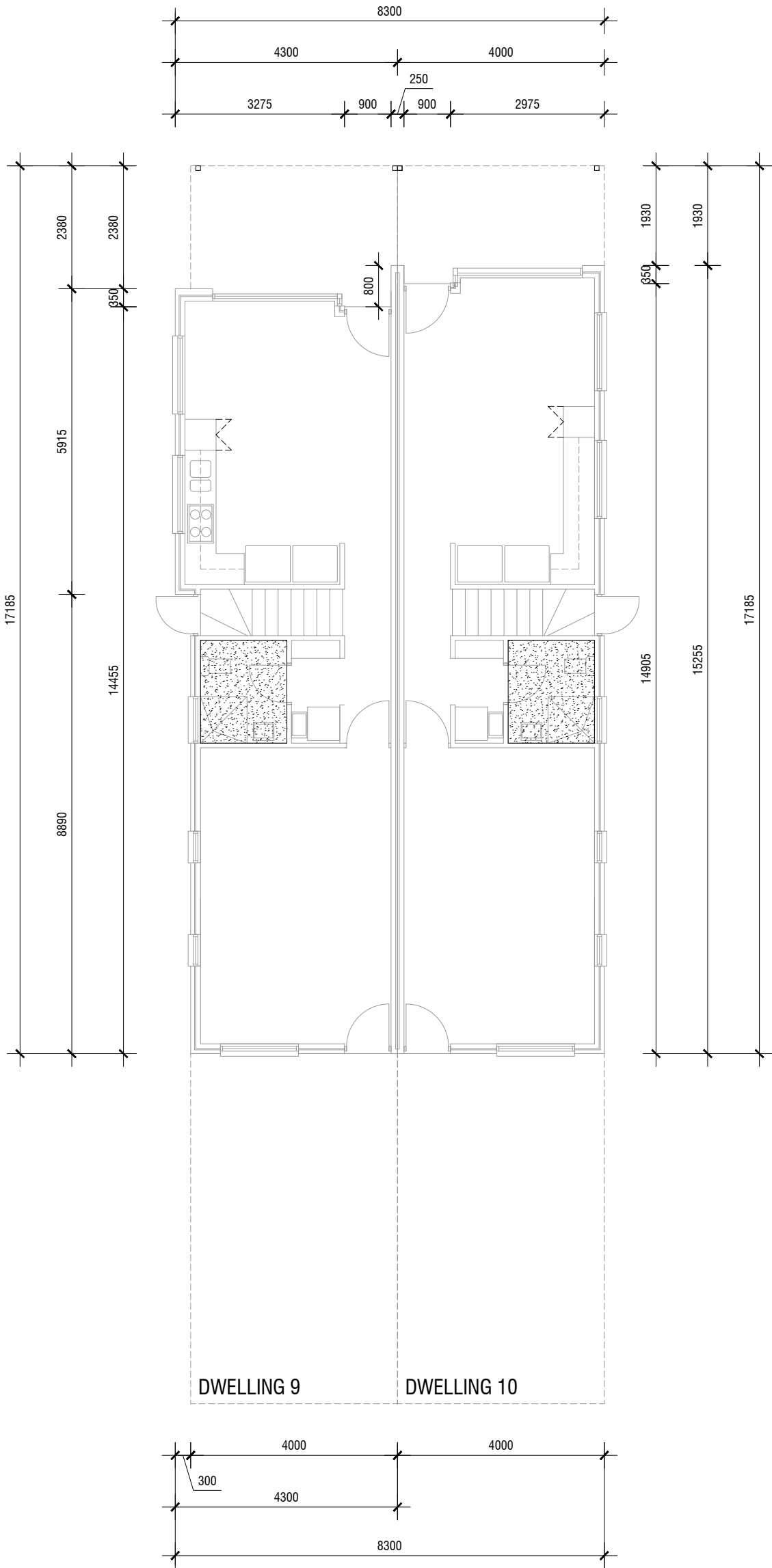
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FOOTING & SLAB NOTES:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

THE CONTRACTOR SHALL VERIFY AL
DIMENSION AND LEVELS ON SITE PRIOR
TO THE COMMENCEMENT OF ANY WORK
OR SHOP DRAWINGS

THE CONTRACTOR SHALL NOT MAKE
ALTERNATION OR CHANGES TO PLANS
DURING OR PRIOR TO CONSTRUCTION
WITHOUT WRITTEN NOTICE

CONCRETE FOOTINGS AND SLAB SHOULD
BE READ IN CONJUNCTION WITH/ & IN
ACCORDANCE WITH THE ENGINEER'S
REPORT.

ALL CONCRETE SHALL BE HANDLED,
PLACED AND COMPACTED IN
ACCORDANCE WITH THE REQUIREMENTS
OF AS 3600-2001.

ALL REINFORCING SHALL COMPLY WITH
AS 3600 PART 1 - 2000.

TERMITE PROTECTION SHALL COMPLY
WITH AS 3600 PART 1 - 2014.

SLAB EDGE REBATE DEPTH 50MM, WIDTH
110MM

SETDOWN NOTES:

50mm SET DOWNS TO THE GARAGE,
PORCH AND WET AREAS. ALL FLOOR
LEVEL INDICATED ARE TO BE CONFIRM BY
THE BUILDER. REFER TO ENGINEERING
DOCUMENTATION FOR DETAILS.

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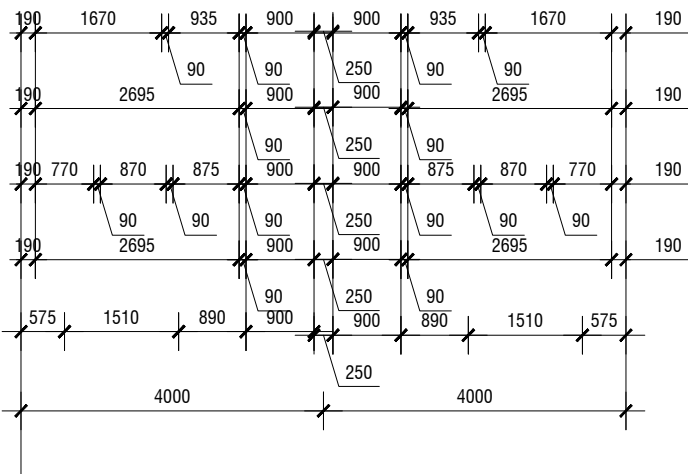
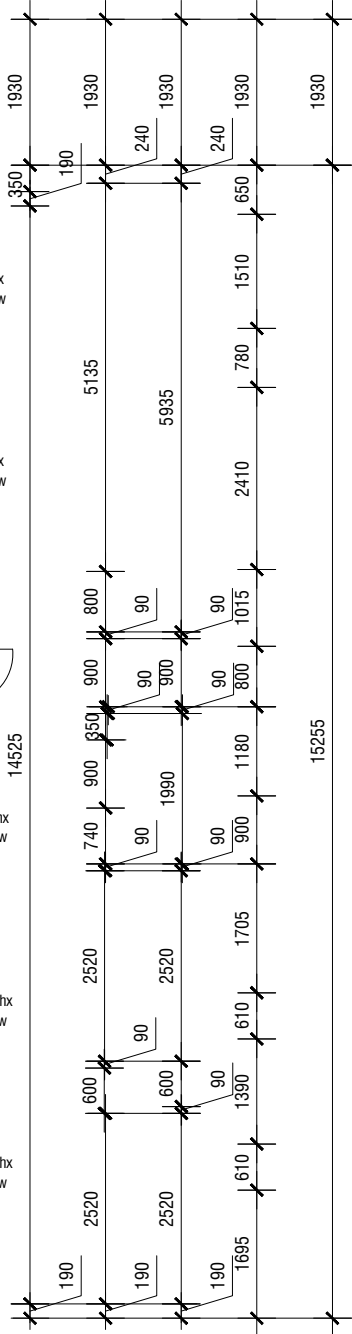
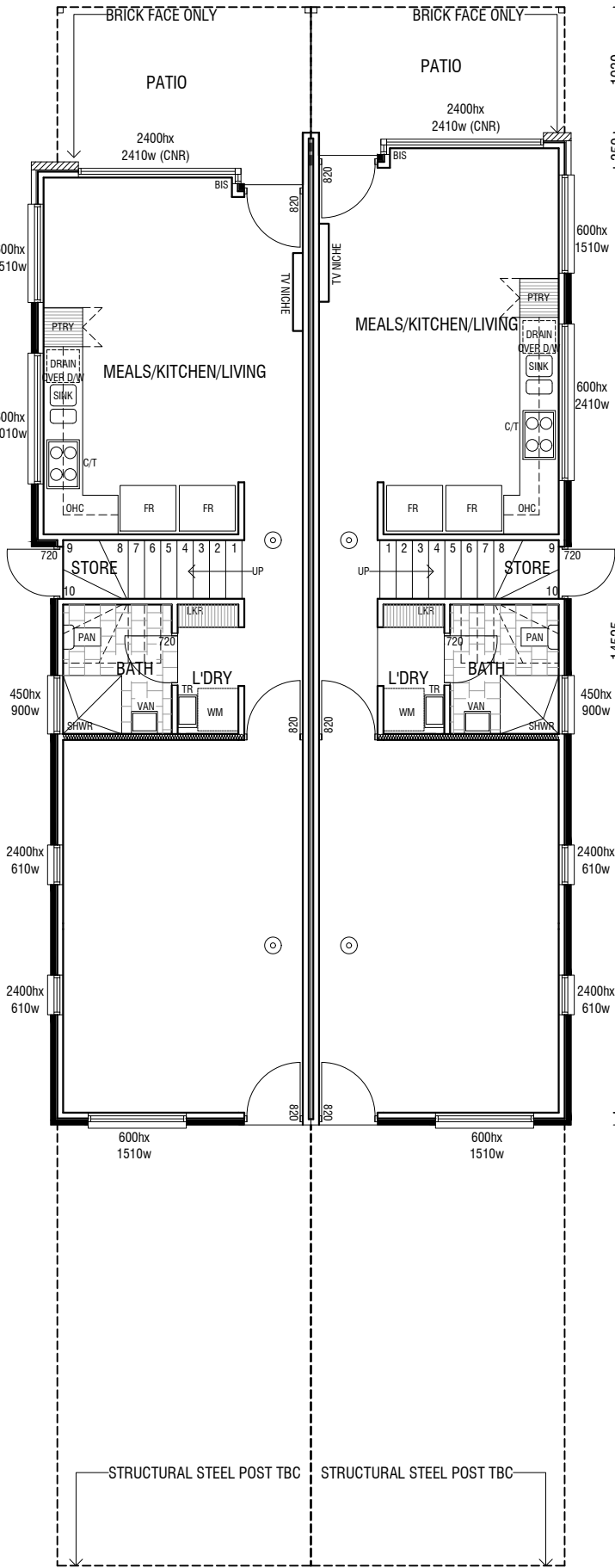
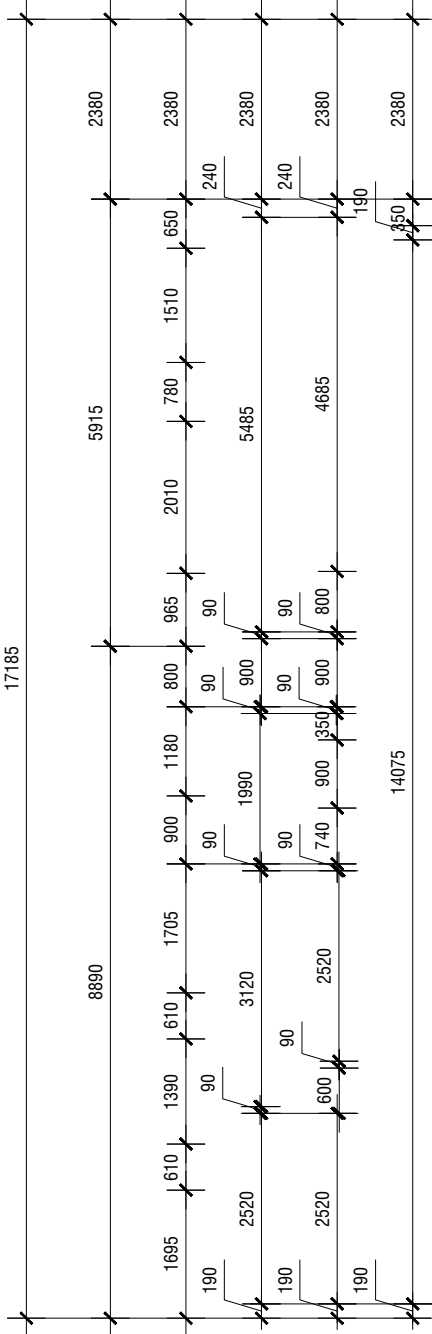
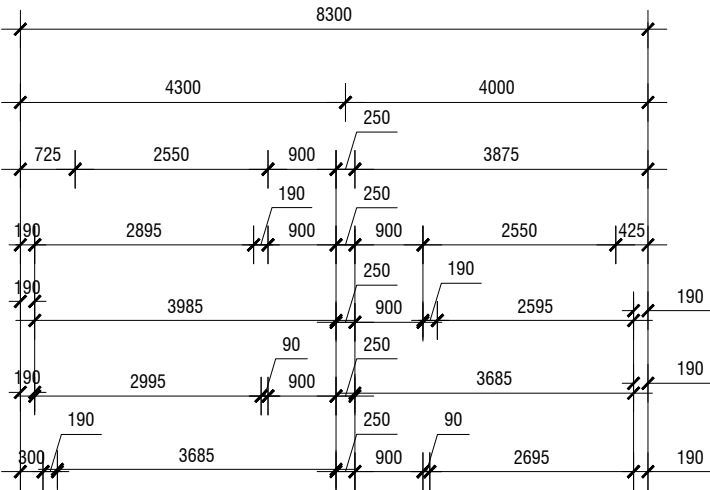
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FLOOR PLAN NOTES:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

- HARDWIRED SMOKE DETECTOR WITH
BATTERY BACK-UP INSTALLED AND
INTERCONNECTED IN ACCORDANCE WITH
AS 3786-1993
- EXHAUST FAN DUCTED TO ATMOSPHERE
OR VENTILATED ROOF SPACE INSTALLED
ACCORDANCE WITH AS 1668.2

WC DOOR HAVING
DEMOUNTABLE HINGES AND BEINGS
REMOVABLE FROM OUTSIDE THE WC

- 190mm HEBEL PANEL VENEER SYSTEM
- 240mm BRICK VENEER SYSTEM
- 90MM STUD WALLS - EXTERNAL WALLS
TO HAVE CEMENTAL DIRECT FIX
- REMOVABLE NON-LOAD BEARING WALLS

FLOOR PLAN LEGEND:

- BIS - BUILT IN SOFA (BY OWNER)
- PTRY - PANTRY
- SINK - S/STEEL SINK
- C/T - 750W COOKTOP
- OHC - 300MM DEEP OVERHEAD CUPBOARD
- FR - REFRIGERATOR
- PAN - TOILET PAN
- VAN - VANITY
- WM - WASHING MACHINE
- SHWR - SHOWER
- LKR - LOCKERS
- ROBE - BUILT IN ROBE
- DESK-MKE 1 - MICKE 730X500 WITH ONE SLIDE
- DESK-MKE 2 - MICKE 1050X500 WITH SIDE
CUPBOARD
- KX - KALLAX 2 UNITS (770W) 2 OR 4 HIGH
- OH-SH - 1500X300 OVERHEAD SHELF
- DOORS:
INTERNAL DOORS 2340H
TOWELL RAILS TO BE INSTALLED BEHIND BEDROOM
DOORS
- BEDROOM NOTE:
ALL BEDS TO BE 1.95X1.25M
300H DEEP 1600 ABOVE ALL DESK SPACES AND
ABOVE ALL BEDS.
WOOD PANEL PROTECTOR ABOVE EACH BED.
- BATHROOM NOTE:
ENGAGED SIGNS TO ALL BATHROOMS

DWELLING 1 - 9 AREA	SQM
LOWER LIVING	60.70
UPPER LIVING	94.70
GARAGE	-
PORCH	-
TERRACE	26.00
TOTAL	181.40
DWELLING 10 AREA	SQM
LOWER LIVING	60.90
UPPER LIVING	94.70
GARAGE	-
PORCH	-
TERRACE	26.00
TOTAL	181.60

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PROPOSED DEVELOPMENT

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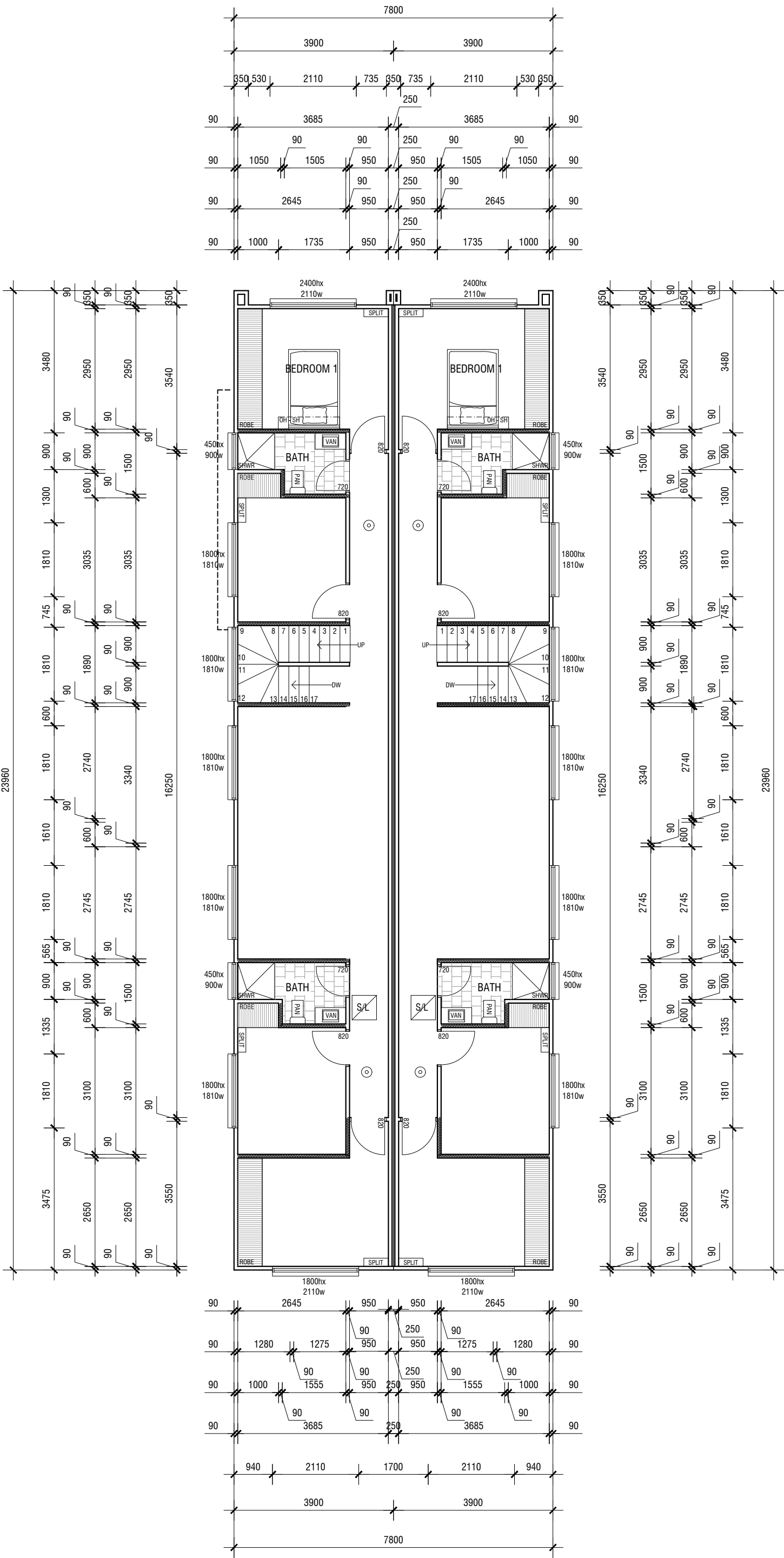
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FIRST FLOOR PLAN RES 9 & 10 SCALE 1:100



FLOOR PLAN NOTES:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

- HARDWIRED SMOKE DETECTOR WITH
BATTERY BACK-UP INSTALLED AND
INTERCONNECTED IN ACCORDANCE WITH
AS 3786-1993
- EXHAUST FAN DUCTED TO ATMOSPHERE
OR VENTILATED ROOF SPACE INSTALLED
ACCORDANCE WITH AS 1668.2
- WC DOOR HAVING
DEMOUNTABLE HINGES AND BEINGS
REMOVABLE FROM OUTSIDE THE WC

- 190mm HEBEL PANEL VENEER SYSTEM
- 90mm STUD WALLS - EXTERNAL WALLS
TO HAVE CEMENTAL DIRECT FIX
- REMOVABLE NON-LOAD BEARING WALLS

FLOOR PLAN LEGEND:

BIS - BUILT IN SOFA (BY OWNER)

PTRY - PANTRY

SINK - S/STEEL SINK

C/T - 750W COOKTOP

OHC - 300MM DEEP OVERHEAD CUPBOARD

FR - REFRIGERATOR

PAN - TOILET PAN

VAN - VANITY

WM - WASHING MACHINE

SHWR - SHOWER

LKR - LOCKERS

ROBE - BUILT IN ROBE

DESK-MKE 1 - MICKE 730X500 WITH ONE SLIDE

DESK-MKE 2 - MICKE 1050X500 WITH SIDE
CUPBOARD

KX - KALLAX 2 UNITS (770W) 2 OR 4 HIGH

OH-SH - 1500X300 OVERHEAD SHELF

DOORS:
INTERNAL DOORS 2340H
TOWELL RAILS TO BE INSTALLED BEHIND BEDROOM
DOORS
BEDROOM NOTE:
ALL BEDS TO BE 1.95X1.25M
300H DEEP 1600 ABOVE ALL DESK SPACES AND
ABOVE ALL BEDS.
WOOD PANEL PROTECTOR ABOVE EACH BED.
BATHROOM NOTE:
ENGAGED SIGNS TO ALL BATHROOMS

DWELLING 1 - 9 AREA	SQM
LOWER LIVING	60.70
UPPER LIVING	94.70
GARAGE	-
PORCH	-
TERRACE	26.00
TOTAL	181.40
DWELLING 10 AREA	SQM
LOWER LIVING	60.90
UPPER LIVING	94.70
GARAGE	-
PORCH	-
TERRACE	26.00
TOTAL	181.60

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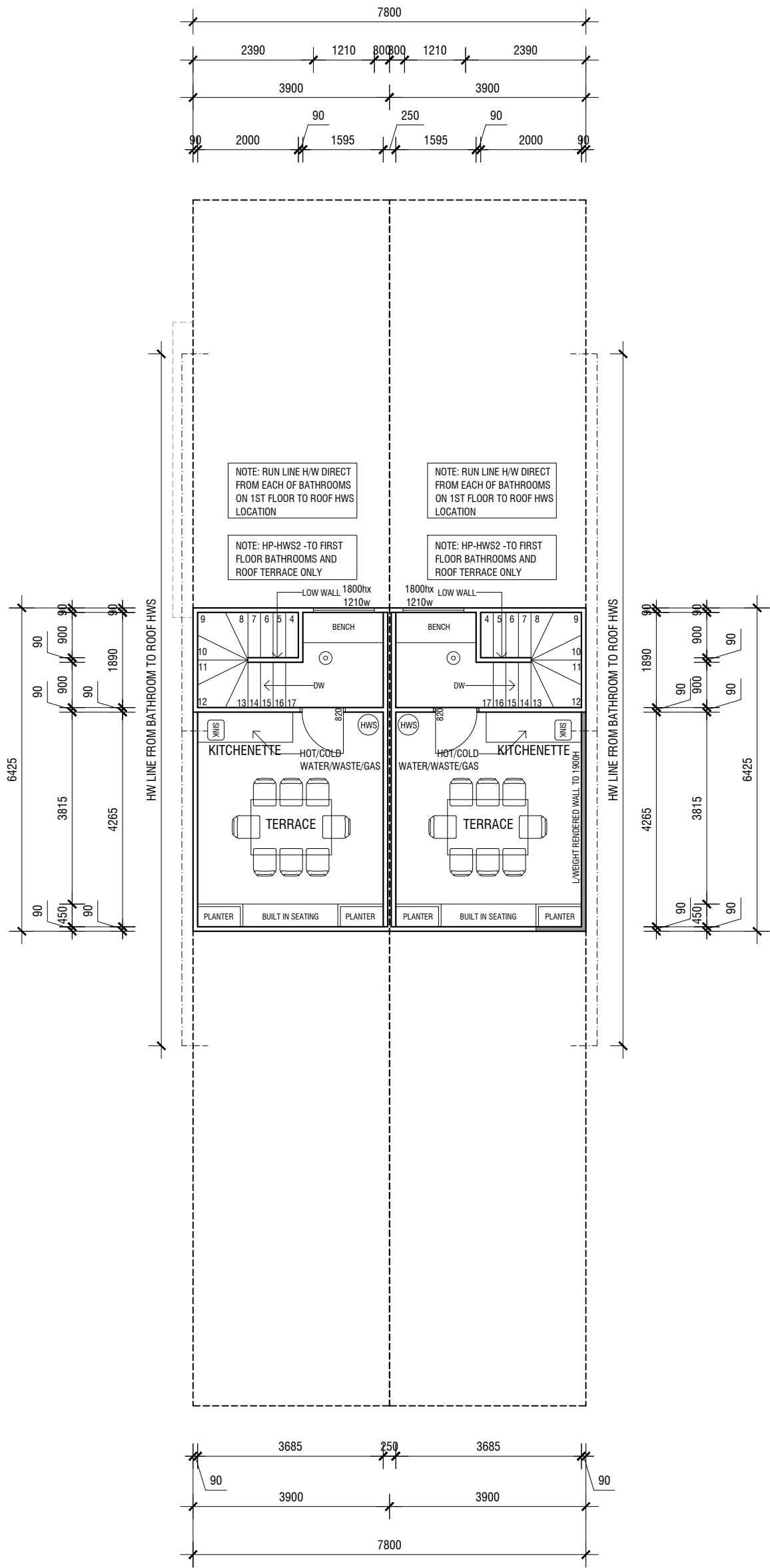
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FLOOR PLAN NOTES:

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BATTERY BACK-UP INSTALLED AND
INTERCONNECTED IN ACCORDANCE WITH
AS 3786-1993
-  EXHAUST FAN DUCTED TO ATMOSPHERE
OR VENTILATED ROOF SPACE INSTALLED
ACCORDANCE WITH AS 1668.2
- WC DOOR HAVING
DEMOUNTABLE HINGES AND BEINGS
REMOVABLE FROM OUTSIDE THE WC

-  190mm HEBEL PANEL VENEER SYSTEM
-  90MM STUD WALLS - EXTERNAL WALLS
TO HAVE CEMINTAL DIRECT FIX
-  REMOVABLE NON-LOAD BEARING WALLS

FLOOR PLAN LEGEND:

- BIS - BUILT IN SOFA (BY OWNER)
- PTRY - PANTRY
- SINK - S/STEEL SINK
- C/T - 750W COOKTOP
- OHC - 300MM DEEP OVERHEAD CUPBOARD
- FR - REFRIGERATOR
- PAN - TOILET PAN
- VAN - VANITY
- WM - WASHING MACHINE
- SHWR - SHOWER
- LKR - LOCKERS
- ROBE - BUILT IN ROBE
- DESK-MKE 1 - MICKE 730X500 WITH ONE SLIDE
- DESK-MKE 2 - MICKE 1050X500 WITH SIDE
CUPBOARD
- KX - KALLAX 2 UNITS (770W) 2 OR 4 HIGH
- OH-SH - 1500X300 OVERHEAD SHELF
- DOORS:
INTERNAL DOORS 2340H
TOWELL RAILS TO BE INSTALLED BEHIND BEDROOM
DOORS
BEDROOM NOTE:
ALL BEDS TO BE 1.95X1.25M
300H DEEP 1600 ABOVE ALL DESK SPACES AND
ABOVE ALL BEDS.
WOOD PANEL PROTECTOR ABOVE EACH BED.
BATHROOM NOTE:
ENGAGED SIGNS TO ALL BATHROOMS

DWELLING 1 - 9 AREA	SQM
LOWER LIVING	60.70
UPPER LIVING	94.70
GARAGE	-
PORCH	-
TERRACE	26.00
TOTAL	181.40
DWELLING 10 AREA	SQM
LOWER LIVING	60.90
UPPER LIVING	94.70
GARAGE	-
PORCH	-
TERRACE	26.00
TOTAL	181.60

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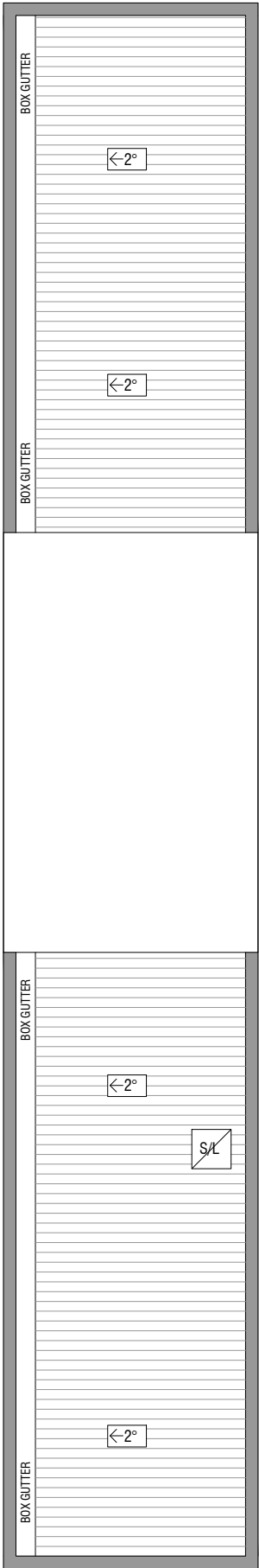
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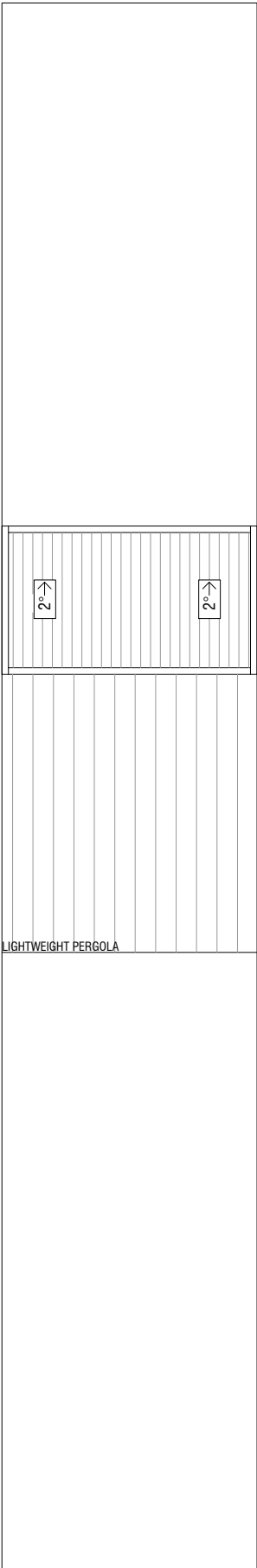
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FIRST LEVEL



TERRACE LEVEL

ROOF PLAN NOTES:

REFER TO WD01 FOR ALL
GENERAL/BUILDING NOTES

COLORBOND FLAT ROOF (REVOLUTION
ROOFING 'TRUE OAK' OPR SIMILAR @ 2°
PITCH WITH PARAPET WALLS. REFER TO
ENGINEERING FOR FRAMING, BRACING &
STORMWATER LAYOUTS.

THE ROOF STORM WATER BOX GUTTER
MUST BE AT LEAST 300MM WIDE AND
FITTED WITH A RAINWATER HEAD (SUMP)
AND OVERFLOW SPOUT AT THE LOWEST
POINTS.

METAL FASCIA TO BE INSTALLED WHERE
EAVES ENCROACH WITHIN 450mm OF
BOUNDARY.



SKYLIGHT OVER



90Ø PVC DOWNPIPES AS PER ENGINEERS
STORMWATER PLAN.



90Ø PVC SPLITTER DOWNPIPE AS PER
ENGINEERS STORMWATER PLAN.



SELECTED RAIN-HEAD

DWELLING 1 - 9 AREA	SQM
LOWER LIVING	60.70
UPPER LIVING	94.70
GARAGE	-
PORCH	-
TERRACE	26.00
TOTAL	181.40
DWELLING 10 AREA	SQM
LOWER LIVING	60.90
UPPER LIVING	94.70
GARAGE	-
PORCH	-
TERRACE	26.00
TOTAL	181.60

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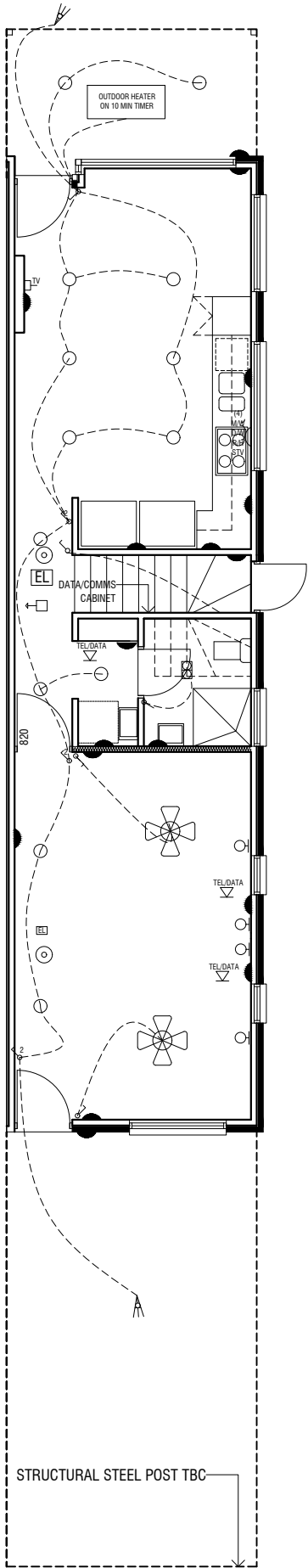
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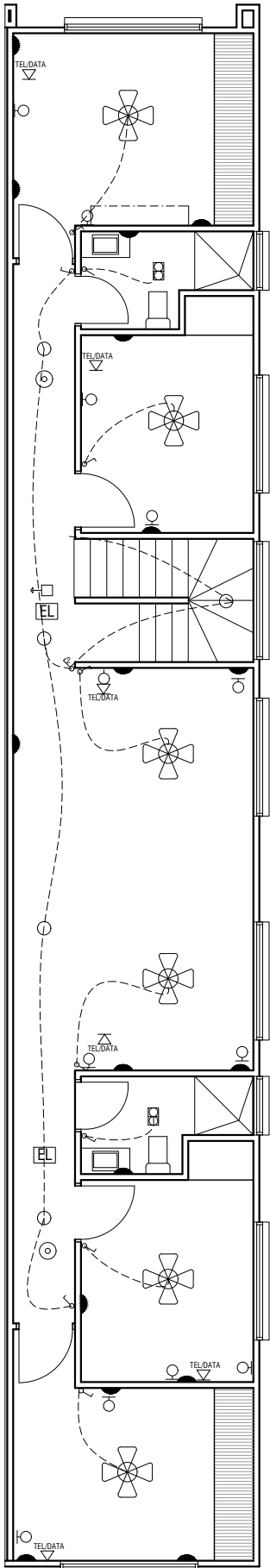
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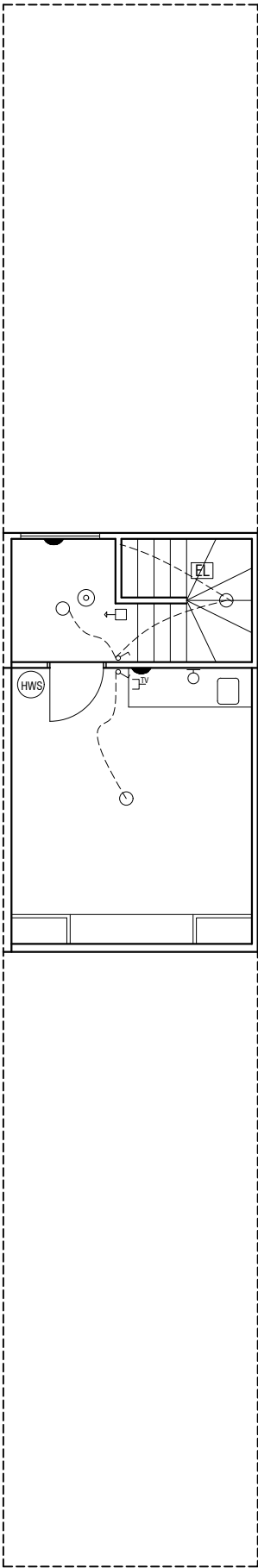
GROUND LEVEL

DWELLING 9 & 10
ALLOW FOR 4 X DOUBLE POWERPOINTS
IN ENCLOSED AREA ON GROUND LEVEL -
REFER SITE PLAN



FIRST LEVEL

BATHROOM NOTE:
ALLOW FOR ALL FAN/LIGHTS TO HAVE
ONE SWITCH WHICH OPERATES BOTH THE
FAN AND LIGHT. AND ALL HEAT LAMPS TO
HAVE A 90 SEC TIMING SWITCH



TERRACE LEVEL

ELECTRICAL LEGEND		
REFER TO FINISHES SCHEDULE (IF APPLICABLE)		LOCATION
	ELECTRICAL METER BOX	WALL MOUNTED
	GAS METER BOX	WALL MOUNTED
	SINGLE GPO OUTLET	200mm ABOVE FFL
	DOUBLE GPO OUTLET	200mm ABOVE FFL
	WEATHERPROOF SINGLE SWITCH GPO OUT	200mm ABOVE FFL
	WEATHERPROOF DOUBLE SWITCH GPO OUT	200mm ABOVE FFL
	SINGLE GPO OUTLET FOR FRIDGE	1100mm ABOVE FFL
	SINGLE GPO OUTLET FOR DISHWASHER	ADJACENT EQUIP.
	SINGLE GPO OUTLET FOR RANGEHOOD	1800mm ABOVE FFL
	SINGLE GPO OUTLET FOR LAUNDRY	1100mm ABOVE FFL
	HOT WATER UNIT	SURFACE MOUNTED
	AIR CONDITIONING CONDENSING UNIT	FLOOR MOUNTED
	TELEPHONE OUTLET	ADJACENT EQUIP.
	TELEVISION ARIEL OUTLET	200mm ABOVE FFL
	SECURITY KEYPAD PANEL	1500mm ABOVE FFL
	SECURITY CONTROL PANEL	WALL MOUNTED
	360° SENSOR WITH 20M RANGE + LED LIGHT ADJACENT	SURFACE MOUNTED
	ONE-WAY LIGHT SWITCH	1100mm ABOVE FFL
	TWO-WAY LIGHT SWITCH	1100mm ABOVE FFL
	CIRCUIT/SWITCH LINE	WHERE REQUIRED
	BATTEN FIX LIGHT	SURFACE MOUNTED
	LED DOWNLIGHT	CEILING RECESSED
	WALL MOUNTED LAMP	1800mm ABOVE FFL
	SMOKE DETECTOR	CEILING MOUNTED
	EXHAUST FAN WITH LIGHT	CEILING RECESSED
	FAN/HEAT/LIGHT UNIT WITH 60 SEC TIMER	CEILING RECESSED
	FLUORESCENT LIGHT	CEILING MOUNTED
	BUILT IN SPEAKERS	CEILING MOUNTED
	PENDANT LIGHTING	CEILING MOUNTED
	LIGHT SENSOR	CEILING MOUNTED
	TELECOM	1500mm ABOVE FFL
	CEILING FAN WITH LIGHT	CEILING MOUNTED
	SINGLE PHASE ISO. FOR HOT WATER UNIT	ADJACENT EQUIP.
	EMERGENCY EXIT LIGHT	ADJACENT EQUIP.

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PROJECT:
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PARADISE, SA

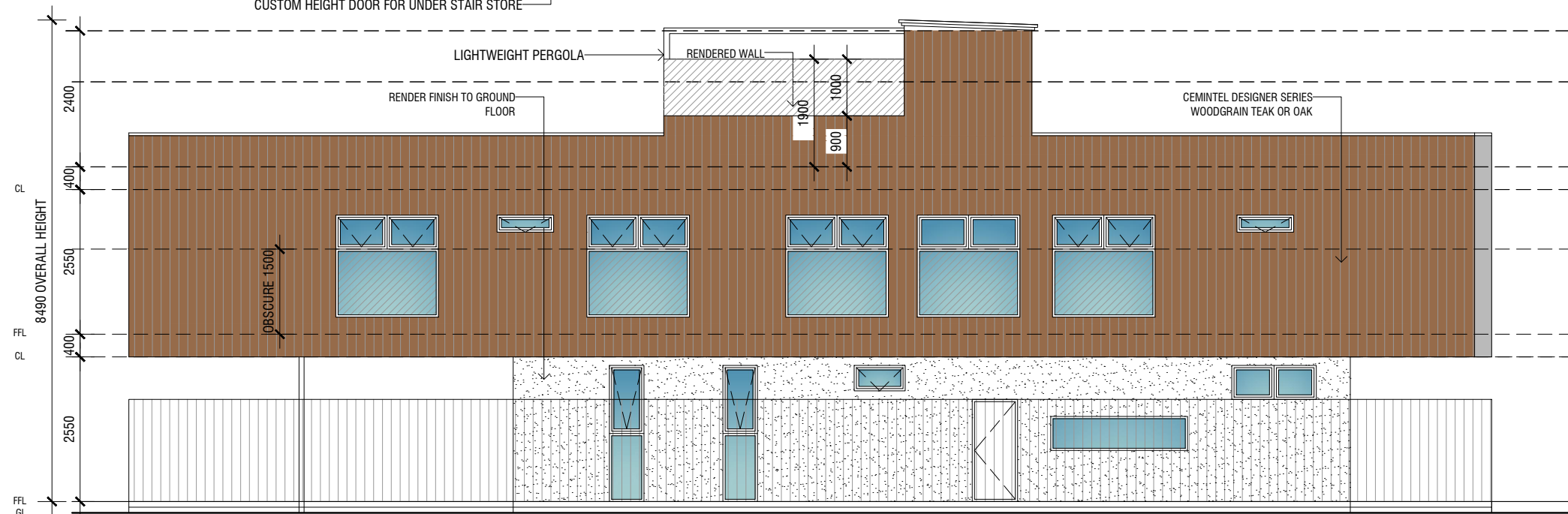
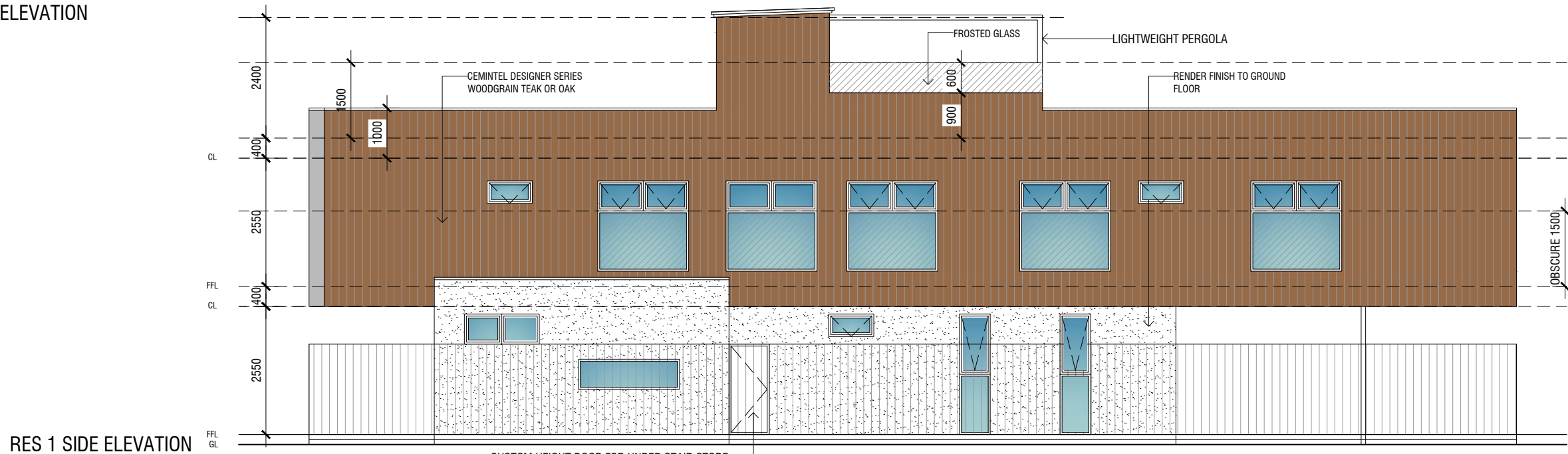
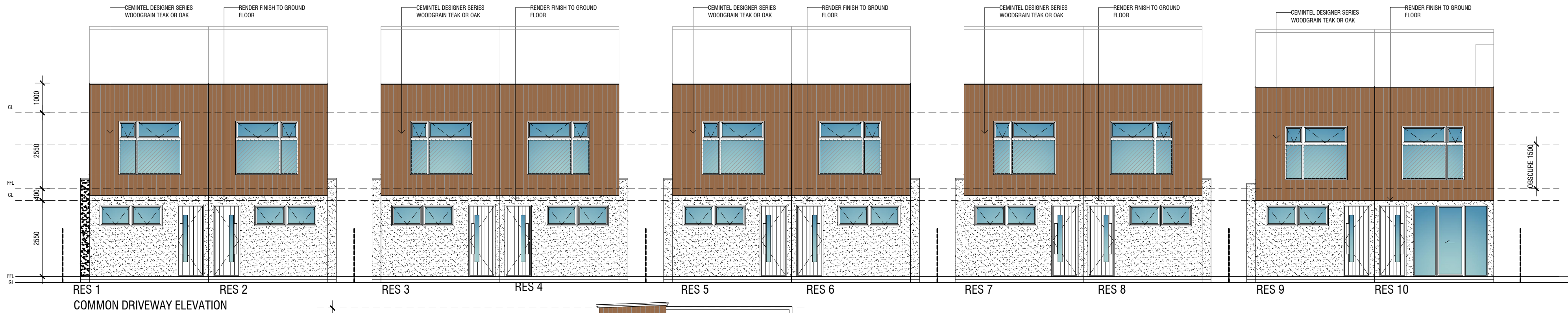
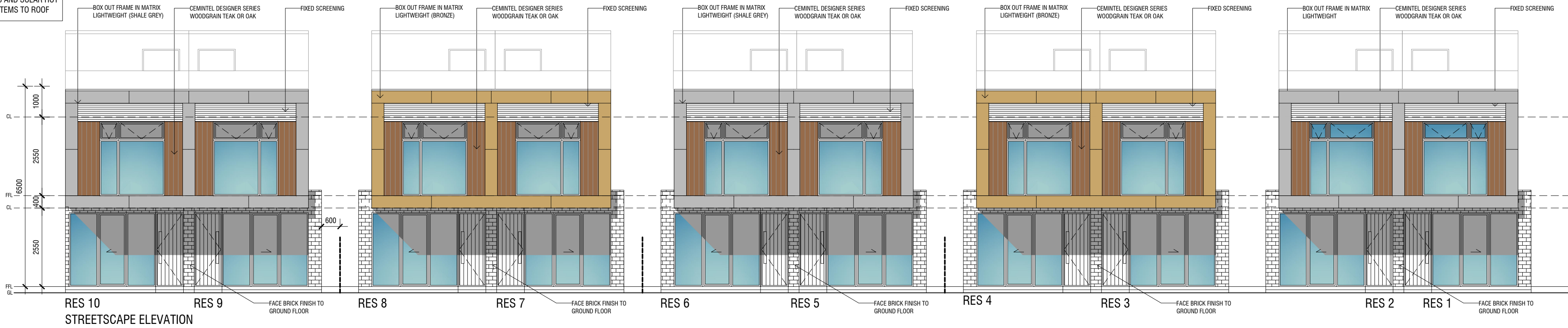
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SOLAR PANELS AND SOLAR HOT WATER SYSTEMS TO ROOF



ELEVATIONS

SCALE 1:100

RES 10 SIDE ELEVATION

WINDOW OPENINGS NOTES:

FIRST FLOOR OPENING - ALL BEDROOM WINDOWS OPENINGS BELOW 1700mm AFL TO FIRST FLOOR TO BE RESTRICTED AND HAVE A MAXIMUM OPENING OF NO MORE THAN 125MM.

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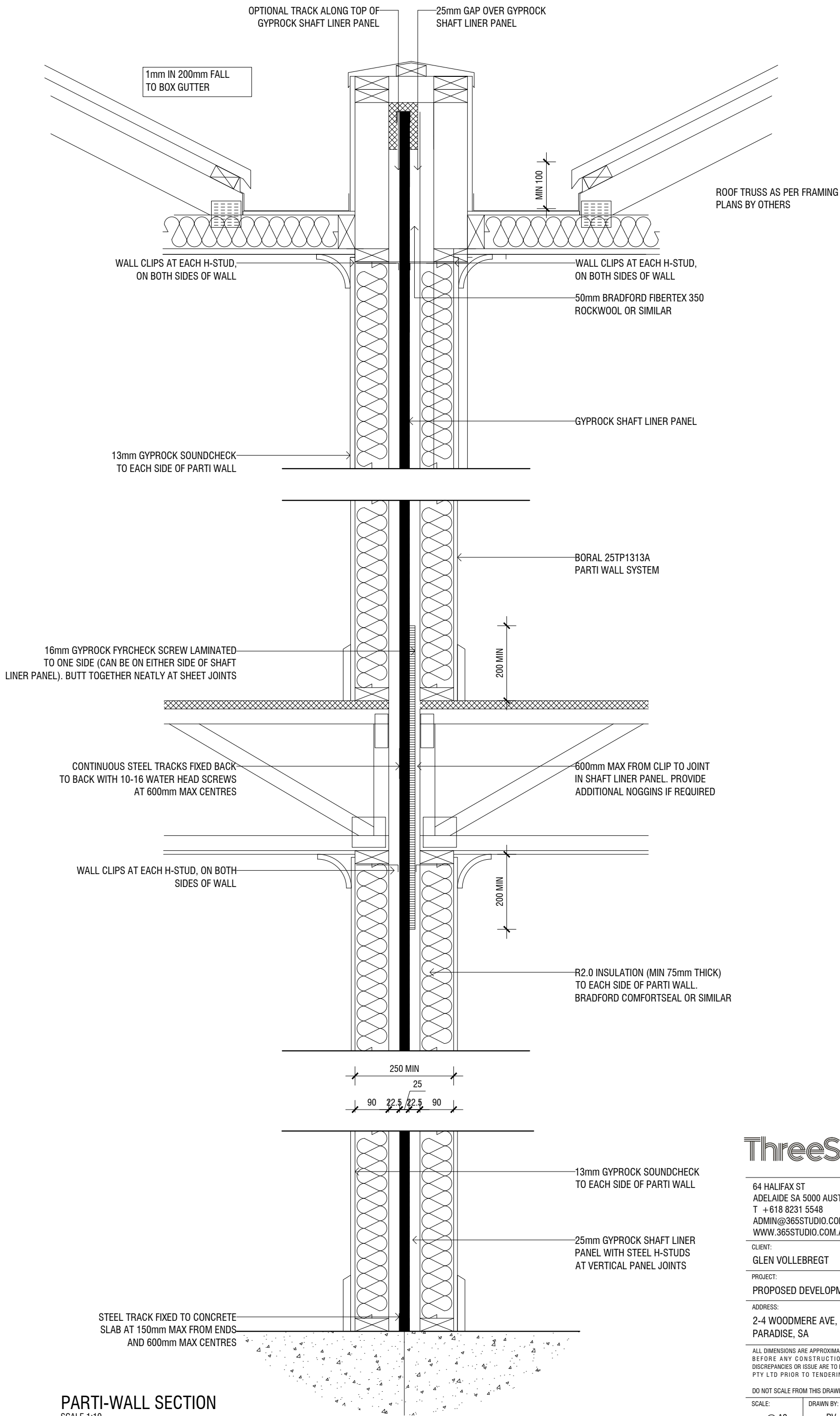
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PARTI-WALL SECTION
SCALE 1:10

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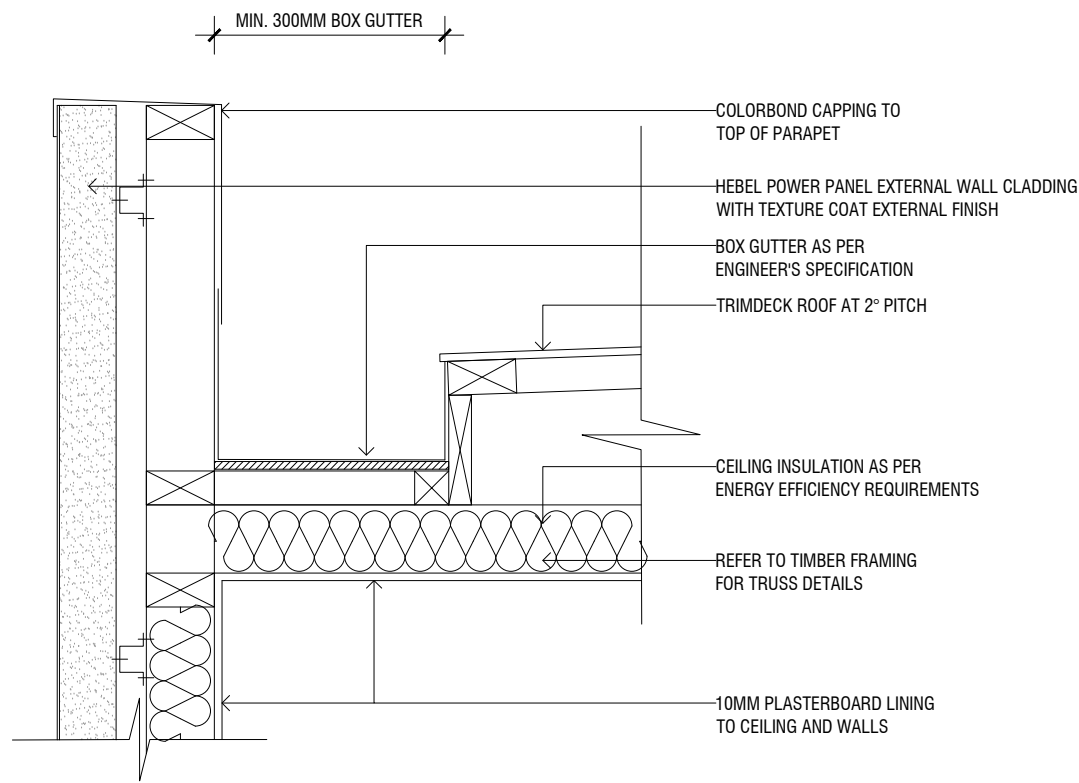
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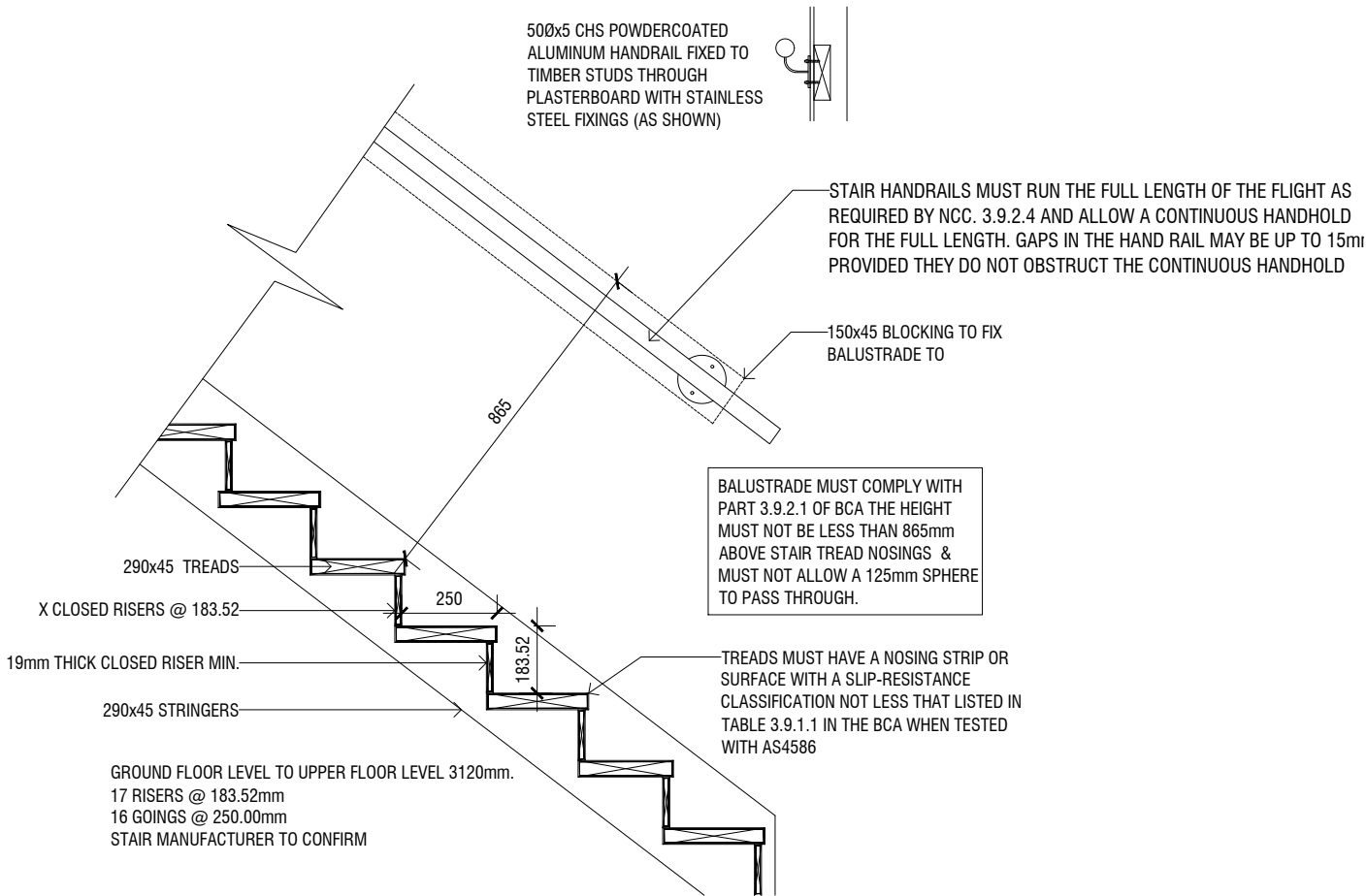
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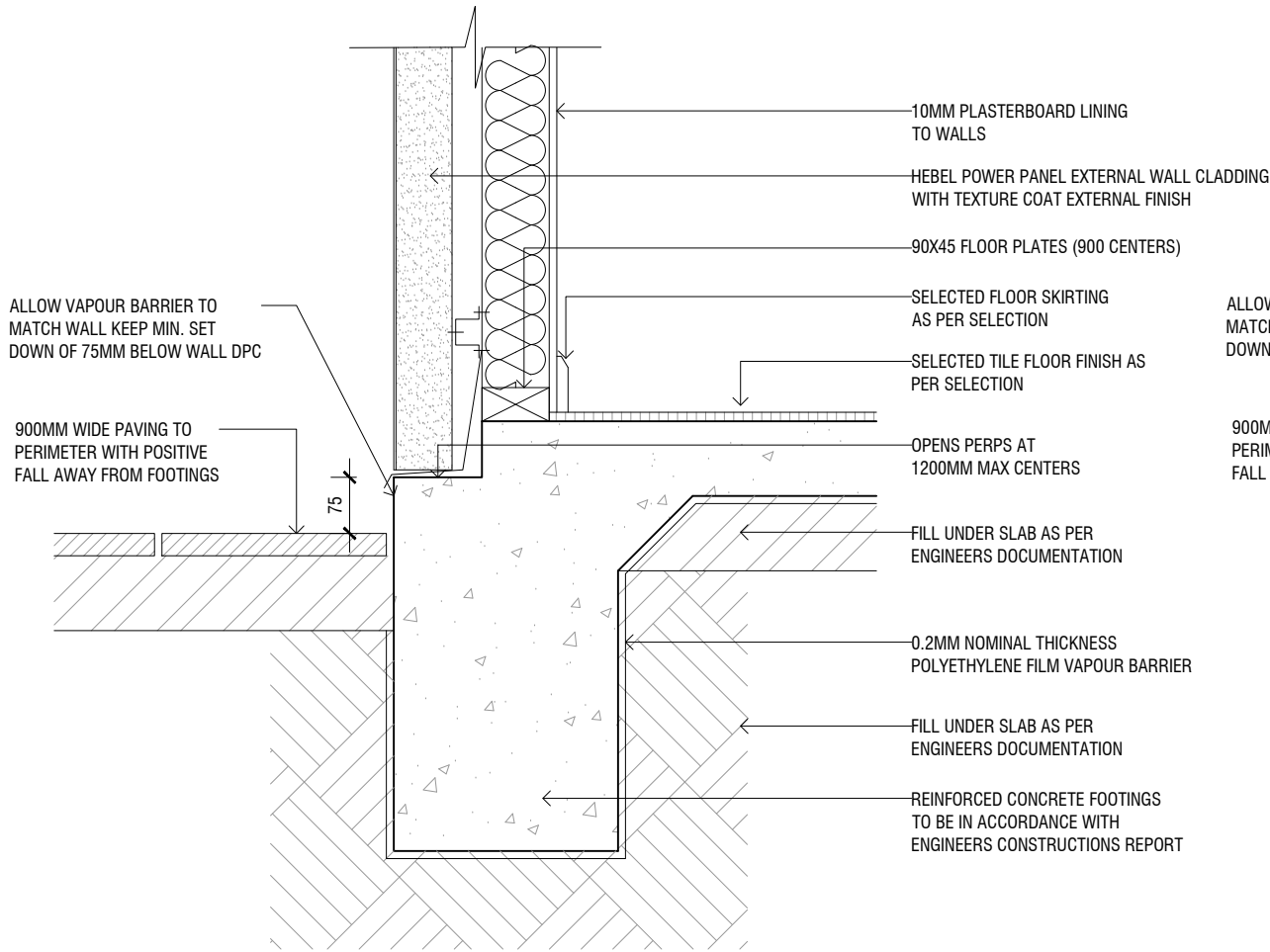


TYPICAL PARAPET WALL/BOX GUTTER DETAIL
SCALE 1:10

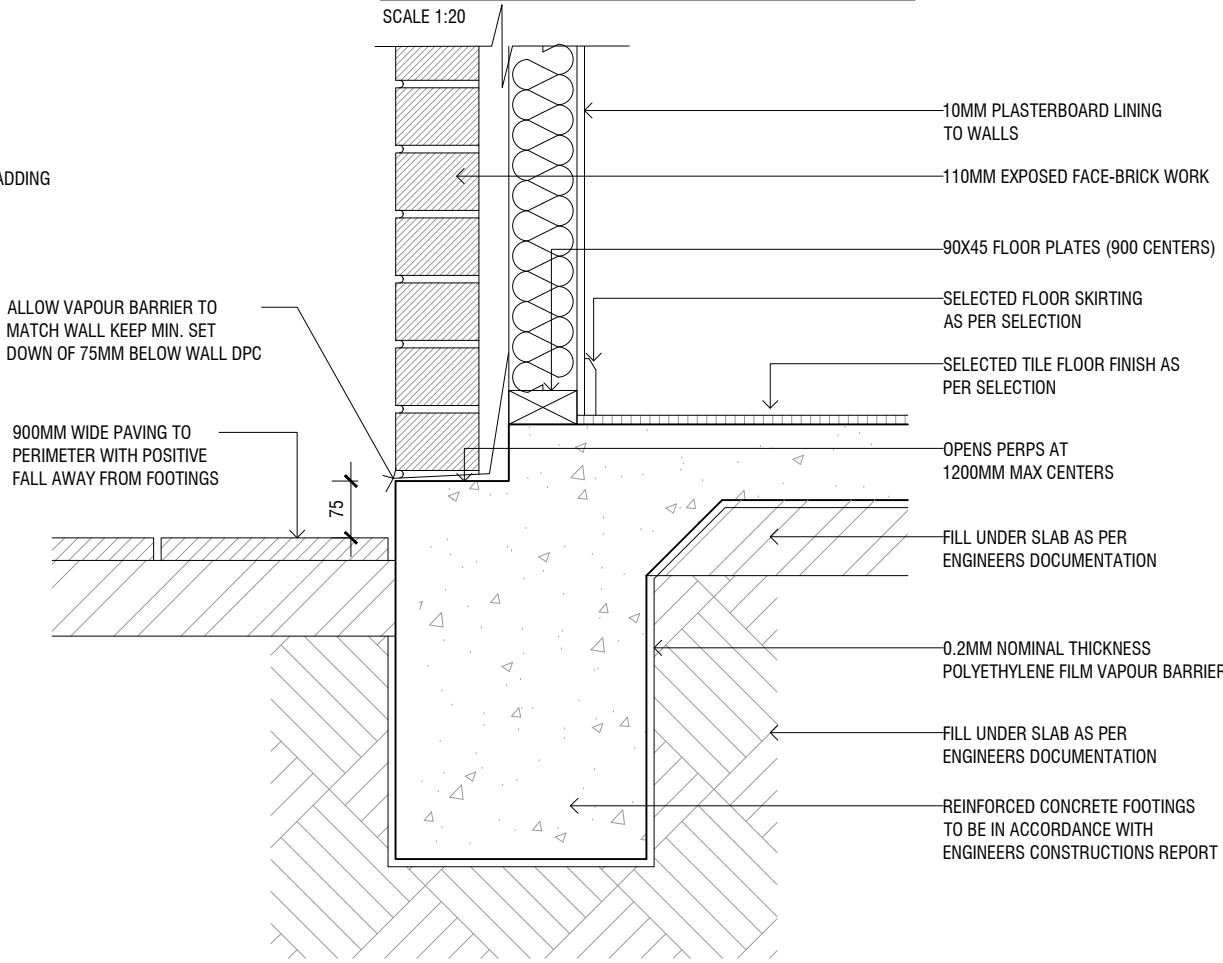


STAIR DETAIL

SCALE 1:20



FOOTING DETAIL - HEBEL PANEL VENEER
SCALE 1:10



FOOTING DETAIL - BRICK VENEER
SCALE 1:10

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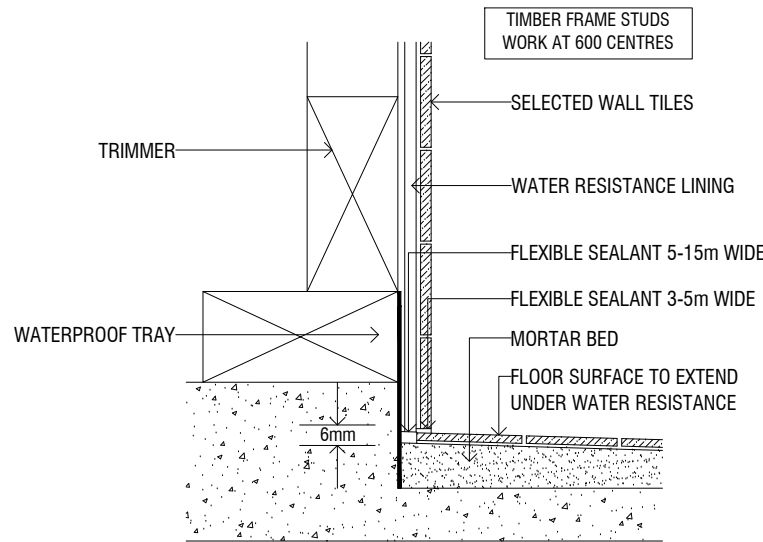
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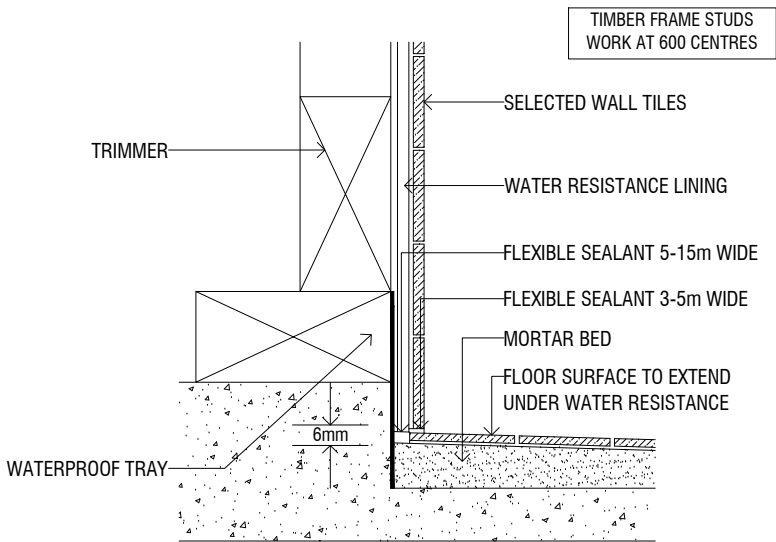
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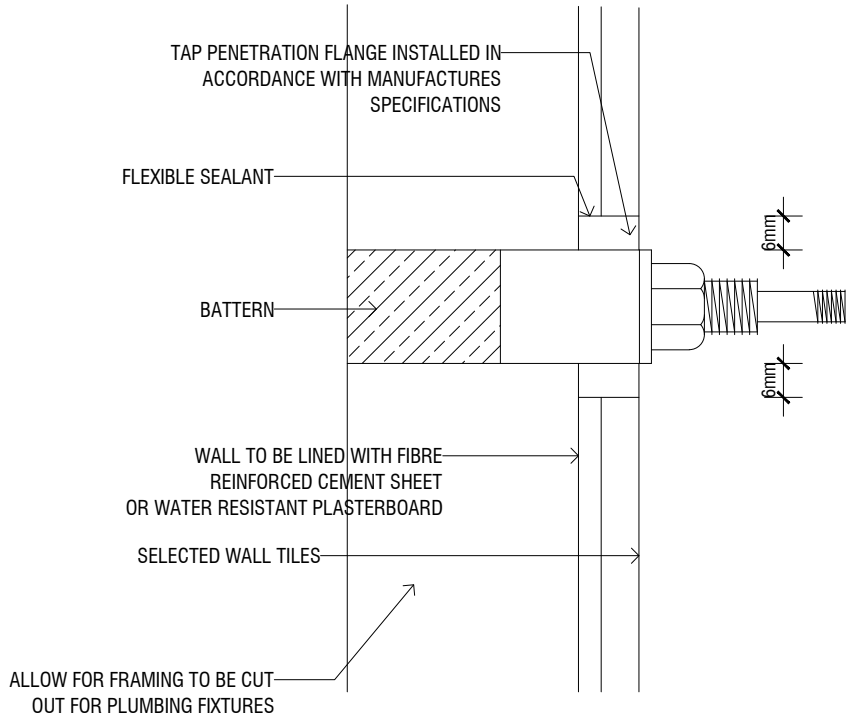
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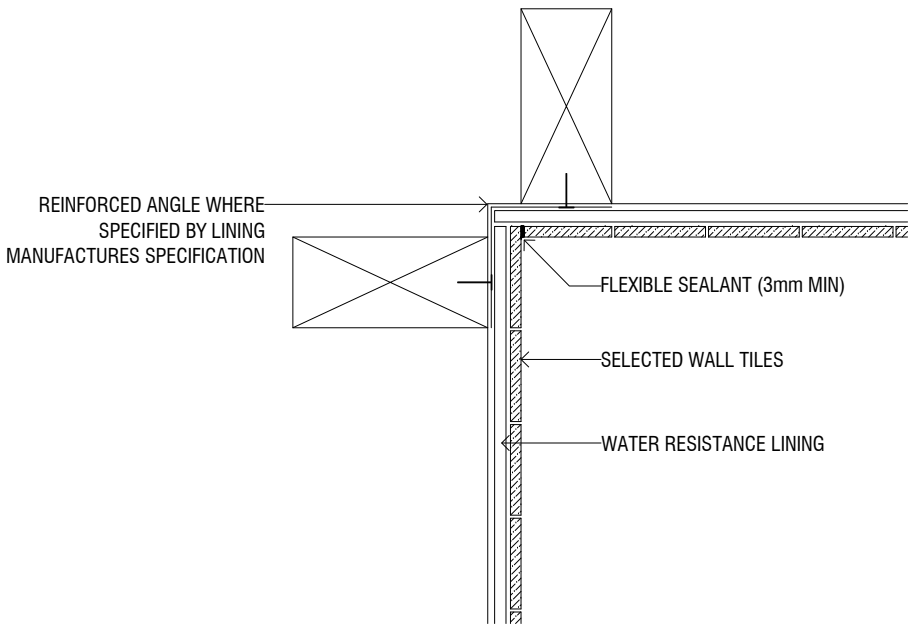
WATERPROOFING SHOWER WALL AND FLOOR JUNCTIONS (EXTERNAL TRAY)



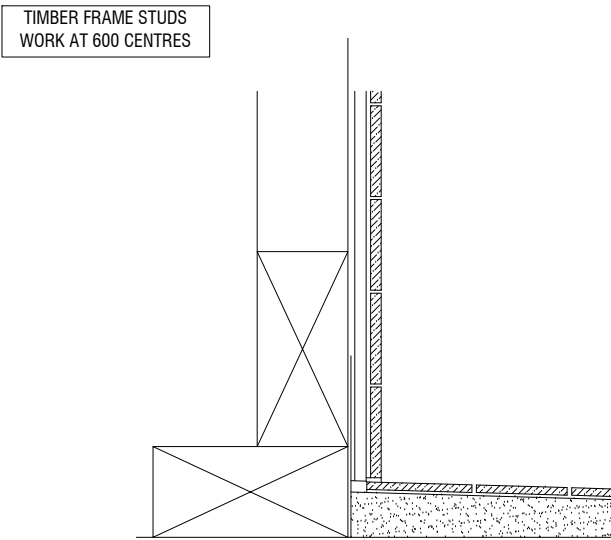
WATERPROOFING SHOWER WALL AND FLOOR JUNCTIONS (INTERNAL TRAY)



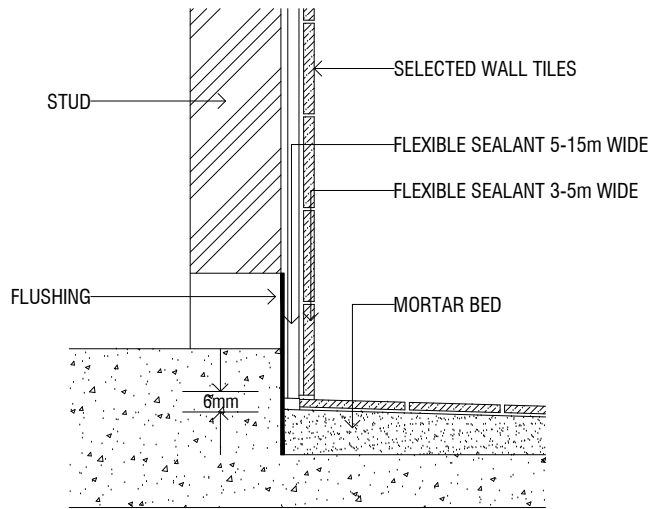
SECTION THROUGH TAP INSTALLATION



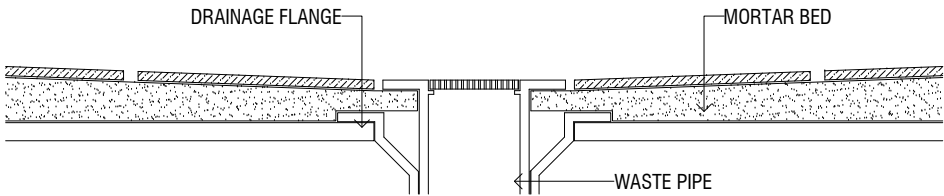
IMPERVIOUS WALL CORNER JUNCTION



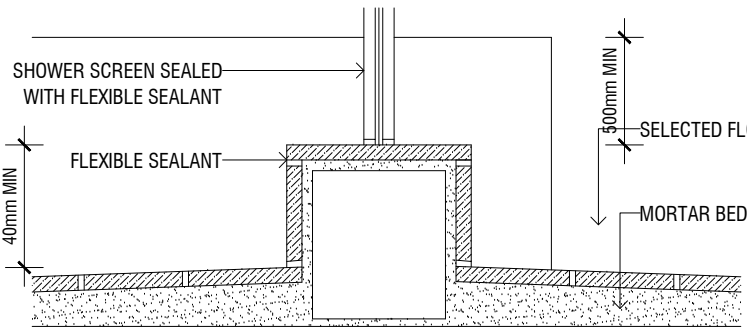
JUNCTION OF IMPERVIOUS WALL & IMPERVIOUS FLOOR -CATEGORY 2



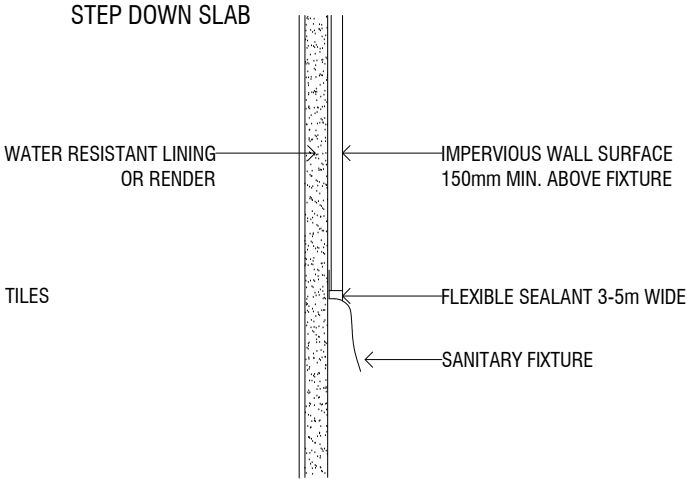
STEP DOWN SLAB



WASTE DETAIL



SHOWER HOB



IMPERVIOUS JUNCTION OF FIXTURE & IMPERVIOUS WALL

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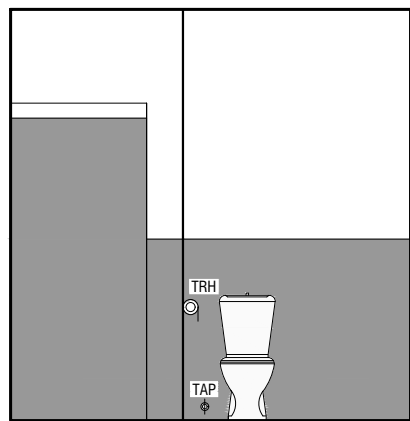
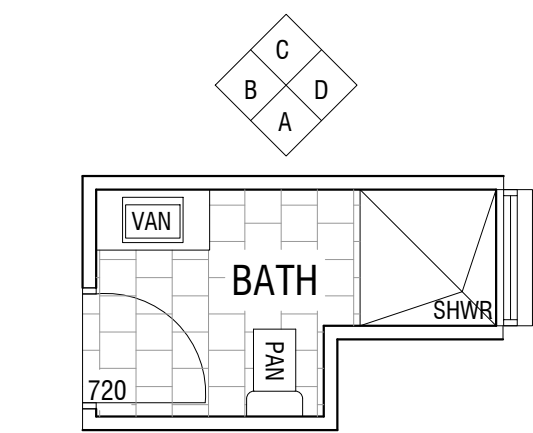
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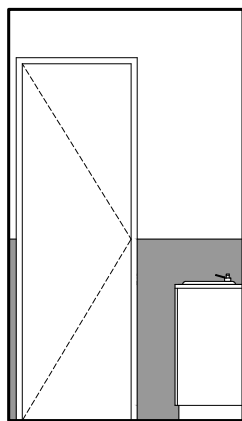
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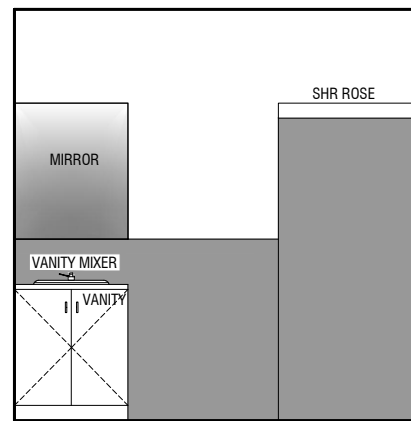
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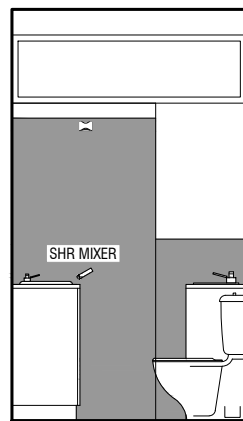
ELEVATION A
BATHROOM



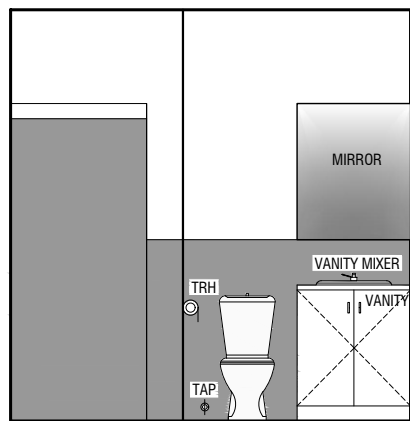
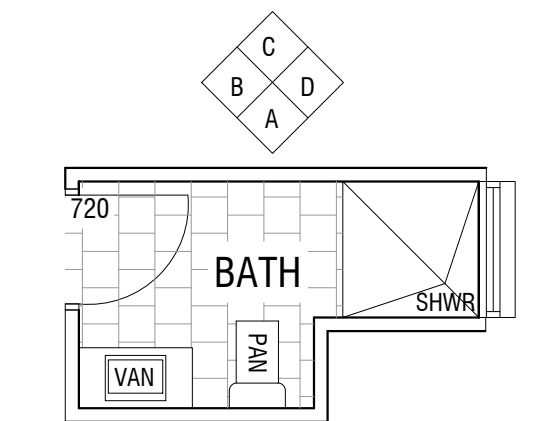
ELEVATION B
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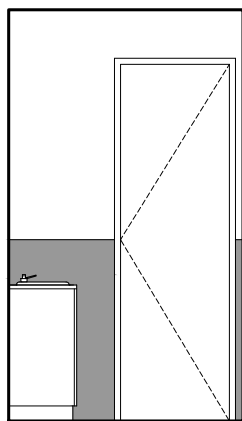
ELEVATION C
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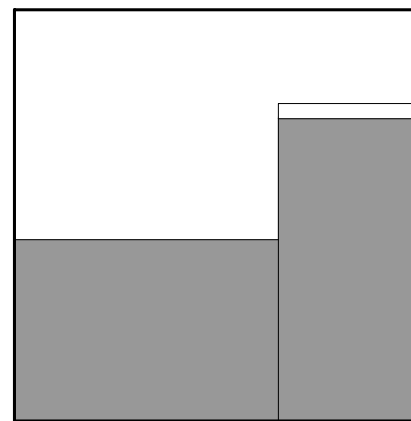
ELEVATION D
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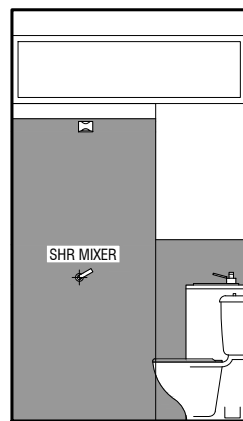
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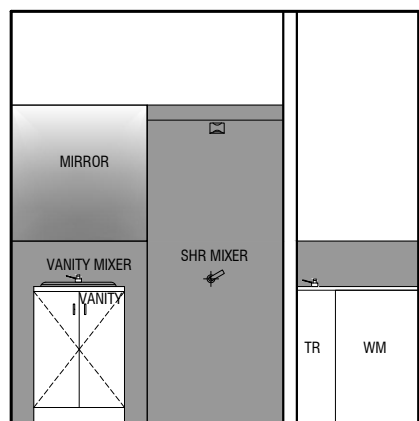
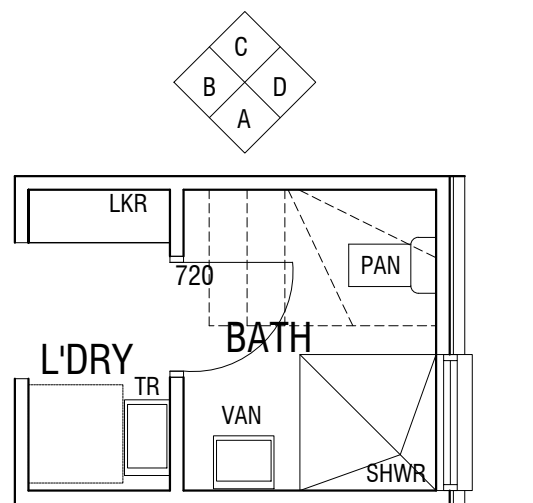
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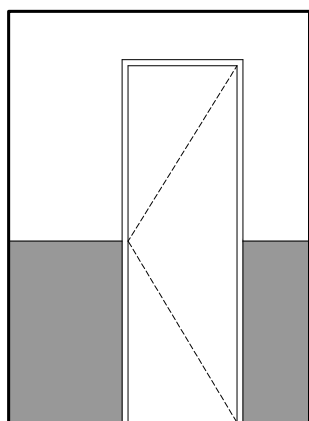
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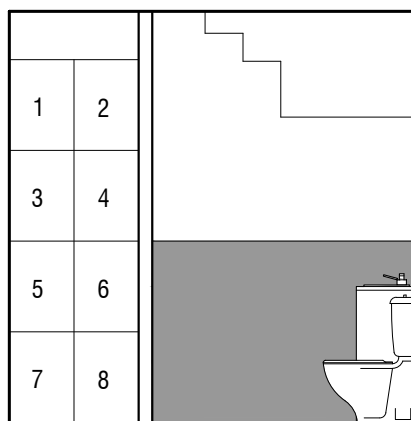
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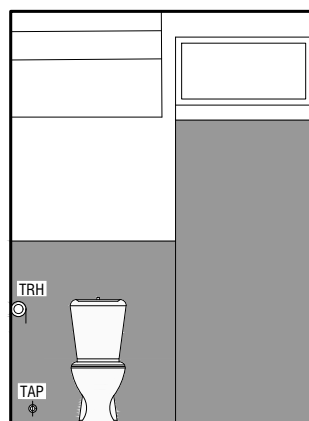
ELEVATION A
BATHROOM



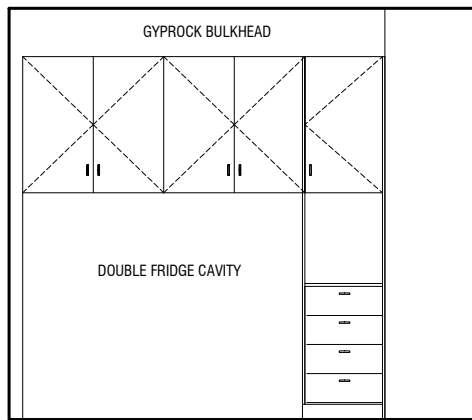
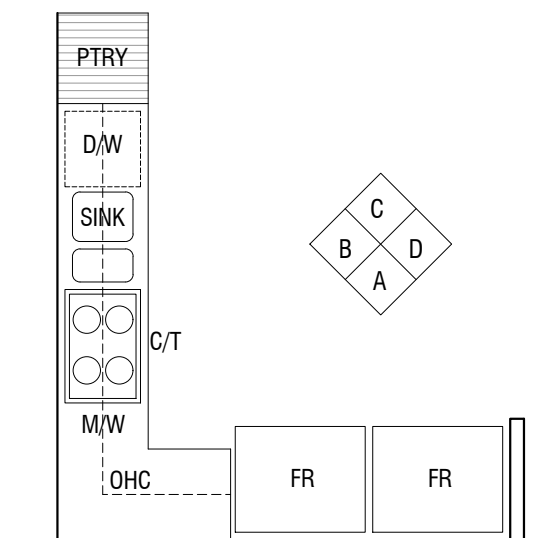
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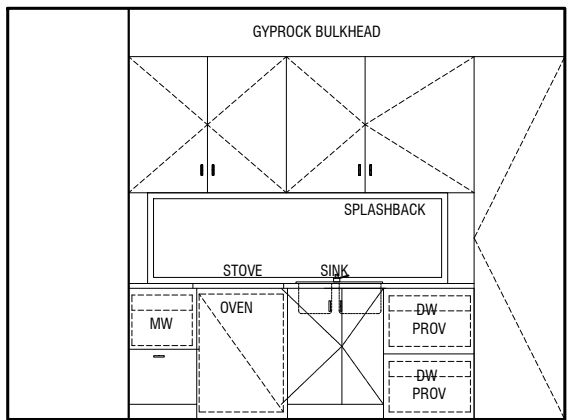
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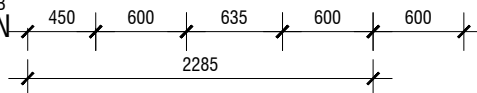
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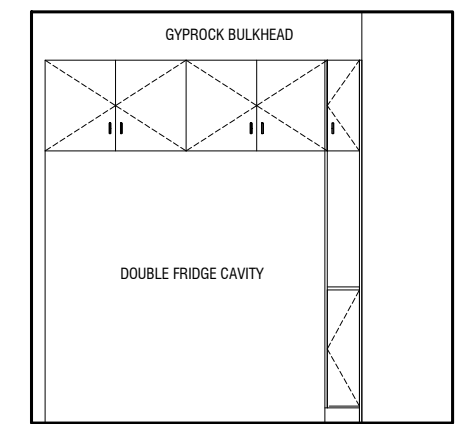
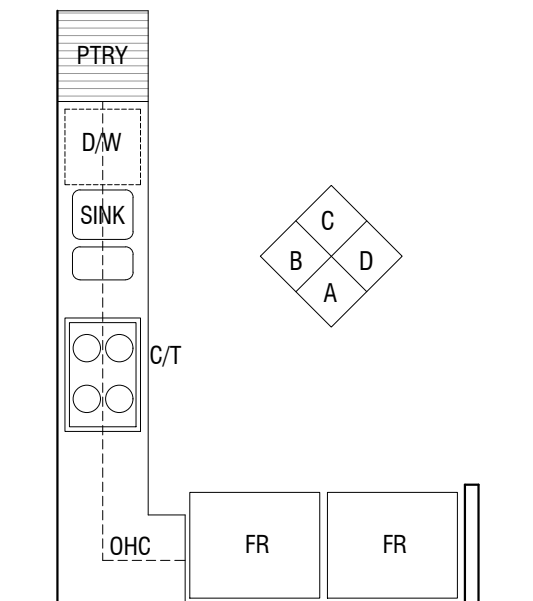
ELEVATION A
KITCHEN



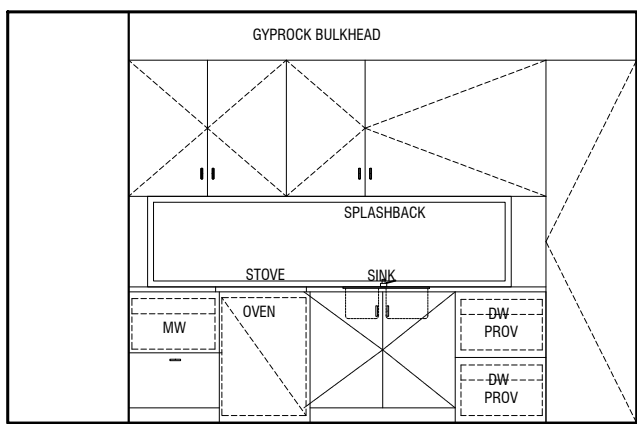
ELEVATION B
KITCHEN



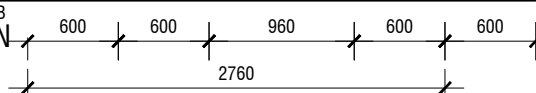
RES 1-9



ELEVATION A
KITCHEN



ELEVATION B
KITCHEN



RES 10
INTERNAL ELEVATIONS

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